

January 31, 2025

BY HAND DELIVERY

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
P.O. Box 970
Shelter Island, New York 11964

Re: Application of Sylvester Manor Educational Farm, Inc.
SCTM # 700-8-1-5.10 and 5.3

Dear Chairman DiOrio and Board Members:

On April 4, 2024, Sylvester Manor Educational Farm, Inc. ("Sylvester Manor") submitted an application for a special permit, which was amended on June 10, 2024, under Town Code Section 133-7(D)(2) (educational institution), following the Building Department's denial of Sylvester Manor's application for a building permit for much-needed improvements to the historic Manor House on the property.¹ Sylvester Manor subsequently retained this firm.

Following an extensive review of the Town's property file, meetings with public officials including the Building Inspector and the Town Attorney, and study of the unique and significant history of Sylvester Manor, we asked the Building Inspector to modify his original denial of the building permit application so that Sylvester Manor could seek more appropriate relief under the Code. The basis for this request is set forth in our letters dated October 31, 2024 and December 23, 2024 (see attached Exhibit A of Application). On January 16, 2025, we received further correspondence from the Building Inspector (see attached Exhibit B of Application) amending his earlier decision.

Sylvester Manor submits this new application based upon the January 16, 2025 denial letter, and asks the Board to recognize the permitted, as of right uses, and grant a special permit

¹ The special permit amended June 10, 2024 is being withdrawn by the Applicant. However, we request that the letters in support of the initial special permit application be made a part of this new submission (see Exhibit C of Application).

for additional uses, using the framework of the current Town Code.² While this relief, if granted, may not be the perfect solution, it would provide a much clearer recognition of Sylvester Manor's operation than the previous special permit application for an "educational institution."³

Recognition of Permitted Uses under Town Code Section 133-7(C)(1), 133-7(C)(3), 133-7(E)(1)(C) and 133-7(E)(3)(b) and Request for Special Permit Under 133-7(D)(5)

In the AA Zone, "one-family dwellings" and "[t]he raising of trees, shrubs and food crops and the tillage of the soil generally" are permitted uses. See Section 133-7(C)(1) and (3). Section 133-7(E)(3)(b) also permits uses, structures, and buildings accessory to these uses. Sylvester Manor asks that the Town recognize these residential and agricultural uses, and those uses customarily incidental and accessory to them.

Sylvester Manor contains multiple dwellings, namely the 1737 Manor House, Wissemann Cottage, and the Old Farmhouse, and the property as a whole includes the potential for future residential and commercial development. Thus, the property has a number of residential uses, which are permitted in the AA Zone. Portions of the Sylvester Manor property are also used for agriculture, and significant acreage has been protected in perpetuity through deeds of development rights or other conservation instruments.

Accessory uses to agriculture include but are not limited to agricultural structures such as the Benjamin Glover Barn, Engine Barn, Furnace House, Garden Shed, Long Barn, Privy, Pump House, Small Barn, The Hive, and The Pole Barn, agricultural equipment as defined by NYS Executive Law §372, a seasonal farm stand, educational and cultural programs related to farming, offices, special events, and recreation including but not limited to trails and water access.

The AA Zone also allows "[e]ducational institutions" as a permitted use upon the issuance of a special permit. See Section 133-7(D)(2). While Sylvester Manor is not an "educational institution" as set forth in the Code, many of its uses are "of the same general character" and should be permitted under Section 133-7(D)(5). For example, the Manor House serves not only as a site of historic interpretation, but also as a center for educational, cultural and research activities on the property, provides accommodations for visiting artists, scholars and guests (not the general public), and includes offices for staff. In addition, much of the Sylvester Manor property is used for related educational, archeological and cultural research, special events, and similar programs. We respectfully submit that all of these uses should be recognized and permitted under Section 133-7(D)(5).

Recognition of Permitted Uses under Town Code Section 133-8(C)(1)(a), 133-8(C)(3)(e) and 133-8(E)(3)(b) and Request for Special Permit Under 133-8(D)(27)

² Sylvester Manor and Town officials have previously discussed modifying the Code to provide for an overlay district, or similar treatment, of a property such as this.

³ Sylvester Manor is not an "educational institution" in the traditional sense, i.e. a "school" registered with the State and/or the Internal Revenue Service, and further, its charter specifically prohibits this use.

Since a portion of the Sylvester Manor property lies within the B Business Zone, we request a similar analysis as set forth above. Section 133-8 (District B (Business)) includes as of right uses such as residential and “the raising of trees, shrubs and food crops and the tillage of the soil generally” see 133-8(C)(1)(a) and 133-8(C)(3)(e), and “[e]ducational institutions” as a permitted use upon the issuance of a special permit. See 133-8(D)(8).

Mirroring the AA Zone, the Code also permits accessory uses, structures and buildings to those uses (133-8(E)(3)), and the issuance of a special permit for uses “of the same general character” as those listed in 133-8(D), including an educational institution. See 133-8(D)(27).

Appeal of Building Inspector’s Denial Letter dated January 16, 2025

As Sylvester Manor is not a true “educational institution” within the traditional sense of a school, we appeal the Inspector’s Denial Letter stating such.

Conclusion

This submission includes one (1) original, nine (9) copies and a digital copy of all materials requested as part of the application, including the following:

- Letter of Denial from the Building Department
- A completed ZBA Application form
- ZBA Authorization form
- ZBA Certification form
- Transactional Disclosure form
- Special Permit Answer Sheet
- Property Deed from the Assessor’s Office
- Certificate of Occupancy, Certificate of Compliance, and Open Building Permits for all buildings, structures, and all improvements on site requiring same
- A radius map
- Up-to-date original survey prepared by F. Michael Hemmer LS last dated January 31, 2025.
- Building Plans prepared by Architectural Preservation dated January 31, 2025.
- Owner’s Endorsement Form
- Short Environmental Assessment Form;
- NYSDEC letter of Non-jurisdiction (April 29, 2024); and
- Check for filing fee.

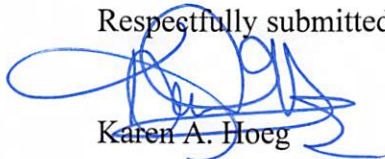
For all the reasons set forth above, Sylvester Manor respectfully requests the issuance of a special permit pursuant to 133-7(D)(5) and 133-8(D)(27) to recognize the uses not explicitly covered as permitted, as of right uses, or customary and incidental accessory uses to them, so that Sylvester Manor can continue to operate its important mission for the community and plan for its future. This includes, at the forefront, the planned renovations to the Manor House.

January 31, 2025

Page 4 of 4

Thank you for your professional courtesy and consideration.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Karen A. Hoeg', is written over the typed name.

Karen A. Hoeg

cc: Stephen Searl, Executive Director
Timothy Hill, Acting Town ZBA Attorney
Kristina Martin, Administrative Assistant



Town of Shelter Island

Zoning Board of Appeals

Application Package

Table of Content:

| | |
|--------------------------------------|----|
| ZBA Fees | 3 |
| ZBA Application Checklist | 4 |
| ZBA Application | 6 |
| ZBA Authorization form | 8 |
| ZBA Certification | 9 |
| Transactional Disclosure form | 10 |
| Use Variance Answer Sheet | 12 |
| Area Variance Answer Sheet | 13 |
| Special Permit Answer Sheet | 14 |
| Mailing Notice | 16 |
| Affidavit of mailing of Legal Notice | 17 |
| Affidavit of posting | 18 |
| Owner's Endorsement | 19 |
| Short Environmental Assessment Form | 20 |

ZBA Fees

- Variances for mechanicals such as HVAC Units, generators and work under \$5,000 \$200
- Variances for projects under \$20,000 \$500

This fee shall cover up to two variance requests per application, but if the applicant requests further variances there shall be an additional \$375 fee per additional requested variance.

- Variances for projects over \$20,000 \$1,000

This fee shall cover up to two variance requests per application, but if the applicant requests further variances there shall be an additional \$750 fee per additional requested variance.

- Special Permit \$1,300

Applications for both a special permit and variances shall pay separate fee(s) for each, per above schedule.

- Public Hearing re-notice fee (if caused by the applicant) \$100
-
- Variance or special permit extension fee 50% of original fee
- Variances for work done without permit Five times the fee pursuant to the above schedule
- Re-hearing fee 50% of original fee
- Interpretation / Appeal Fee (Does not apply to Town Board and Building Department)* \$800

*50% of the fee to be returned if appeal is not heard

ZBA APPLICATION CHECKLIST

The Application submission requires:

- One (1) original, nine copies (9) and a digital copy (PDF) of all materials requested below

- Applications along with related documents must be collated into packets

- The requisite application fee
- Letter of Denial from the Building Department
- A completed ZBA Application form (attached)
- ZBA Authorization form (attached)
- ZBA Certification form (attached)
- Transactional Disclosure Form (attached)
- Area Variance, Use Variance, Special Permit Answer Sheet (as applicable, form is attached)
- Property Deed from the Assessor's Office
- Certificate of Occupancy, Certificate of Compliance, and Open Building Permits for all buildings, structures, and all improvements on site requiring same. (If you do not have these documents, they are accessible at the Building Department)
- A radius map showing all property owners within two hundred (200) feet of applicant's property and names and addresses of these owners (Assessor's Office can help you to obtain this)
- **Up-to-date original survey* prepared by a licensed surveyor- sealed, signed and dated; showing:**
 - All existing and proposed buildings and structures; including steps, decks, bilco doors, patios, AC equipment, pool equipment, generators and requisite slabs.
 - Setback dimensions shown from all property lines in red;
 - If in wetlands, 75' and 100' lines from wetlands must be noted in red;
 - The location of all known easements, right-of-way on or over the site;
 - The location of existing and proposed wells and septic systems;
 - The identification, size and location of all natural features such as wetlands bluffs, bodies of fresh and tidal waters, watercourses and the mean high water mark with setback dimensions to all existing and proposed buildings and structures;
 - Existing topography of the site at 2-foot contour intervals, (if requested);
 - **Building Envelope outlined in red showing all setback requirement**

*Please note that the ZBA will also accept survey showing current conditions and a separate proposed site plan based on the survey prepared by the licensed design professional; both must be sealed, signed and dated.

- **Building Plans – sealed, signed and dated: with all setback dimensions shown in red from all property lines. Plans must include: steps, decks, bilco doors, patios, porches,**

decks, AC equipment, pool equipment, generators and requisite slabs fireplaces, chimneys, etc. plus reduced size copies for each packet (If working drawings are submitted, they must be to scale.)

One (1) set of full size Building Plans to scale (1/4") and 9 copies of 11x17" prints is required if applying for variance. Three (3) sets of full size Building Plans to scale (1/4") and 7 copies of 11x17" prints is required if applying for Special Permits. Submitted building plans must be the exact plans as denied by the Building Department.

If Applicable:

- Owner's Endorsement Form
- Permits or approvals from other agencies
- Short Environmental Assessment Form (if seeking Special Permit, form is attached)
- In the case of an appeal from a determination of the Building inspector/Zoning Officer, a copy of the written determination or Stop Work Order
- Any other information as may be required by the Zoning Board



ZONING BOARD OF APPEALS APPLICATION

Date: January 31, 2025

TAX MAP NUMBER

700-08-01-05.10 and 5.3

ADDRESS OF THE SUBJECT PROPERTY

80 North Ferry Road, Shelter Island, NY 11964

1. APPLICANT- Applicant must be a party of interest

Applicant is: ☒ Owner ☐ Attorney ☐ Architect
☐ Builder ☐ Contractor
☐ Other (please specify) _____

NAME Stephen Searl, Executive Director

COMPANY NAME (if applicable) Sylvester Manor Educational Farm, Inc.

ADDRESS PO Box 2029, 80 North Ferry Road

PHONE (631) 749-0626

EMAIL ssearl@sylvestermanor.org

2. OWNER(S) –All owners on the current deed (if different from the applicant)

NAME _____

ADDRESS _____

PHONE _____

EMAIL _____

NAME _____

ADDRESS _____

PHONE _____

EMAIL _____

3. Are there any Violation of Notices of Violation outstanding on this property?

YES ☒ NO ☐ Violation number * _____ (If yes, attach copies)

4. Is the property within one mile of an airport or within 500 feet of:

- a. The boundary of any existing or proposed county, state or federal park or other recreation area,
- b. The right-of-way of any existing or proposed county or state parkway, thruway, expressway, road or highway,
- c. Existing or proposed right-of-way of any stream or drainage channel owned by the county or for which the county, state or federally-owned land or
- d. The boundary line of any village or town

YES ☒ NO ☐

5. Located in Zone District designated as: AA and B, Near Shore

6. Previous appeals (please check one): _____ amended 6/10/24

☒ A previous appeal has been made dated 4/4/24 ZBA #(s) _____

☐ A previous appeal has not been made with respect to this denial of the Building Inspector or with respect to this property.

This application is in regard to amended notice of Disapproval dated January 16, 2025. The prior 2024 application hereby withdrawn.

7. Indicate value of project requiring variance/special permit:

approx. \$11,000,000

Attached as Exhibit "F" - "Violations"

* Appearance Ticket #1018 (SCTM# 700-8-1-5.10)

Appearance Ticket #1024 (SCTM# 700-8-1-5.5)


Appearance Ticket #1025 (SCTM# 700-8-1-5.3)



ZONING BOARD OF APPEALS AUTHORIZATION FORM

I hereby affirm that to the best of my knowledge the list of property owners presented with this application is accurate and that all statements herein are true. By signing this form I authorize town staff and Zoning Board members to enter onto my property to perform an on-site inspection of the changes I am applying for.

NAME Stephen Searl, Executive Director

OWNER'S SIGNATURE 

DATE 1/21/2025



ZONING BOARD OF APPEALS CERTIFICATION

To be signed by Applicant(s)/Owner

Stephen Searl, being by me duly sworn, deposes and says:

1. I have an interest in an application for a variance and/or special permit now pending before the Town of Shelter Island Zoning Board of Appeals.
2. I reside at 3200 Reeve Road, Mattituck, NY 11952
3. The nature of my interest in the aforesaid application is as follows Executive Director
4. It is my understanding that the Shelter Island Town Board has determined that public policy requires a full, frank and complete disclosure of all persons having an interest, direct or indirect, in all applications to the Shelter Island Zoning Board of Appeals and other agencies of Town Government, to insure that no question of conflict of interest or favoritism may arise.
5. To the best of my knowledge, information and belief, there are no other persons, firms or corporations interested in this application, except as hereafter set forth (If either Corporation or Company, etc., list all officers):
Marc Robert, President; Elly Karp Wong, Vice President; James Preston, Treasurer;
Kathleen DeRose, Treasurer

Sworn to before me this 21st day of January, 2025

Sara Gordon
Notary Public

SARA GORDON
Notary Public, State of New York
No. 01GO6193365
Qualified in Suffolk County
Commission Expires 9/15/2026

PRINT NAME Stephen Searl

APPLICANT'S SIGNATURE 



TRANSACTIONAL DISCLOSURE FORM

(Conflict of Interest Form)

The purpose of this form is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

This form is for:

☐ An individual ☐ A partnership ☒ A corporation ☐ An association

APPLICANT'S NAME Stephen Searl, Executive Director

OWNER'S NAME Sylvester Manor Educational Farm, Inc.

Nature of the Application

☐ Variance ☒ Special Permit

Affected parcel (address)

80 North Ferry Road, Shelter Island, NY 11964

Does any officer or employee of the Town of Shelter Island, member of the Zoning Board of Appeals, or his/her spouse, brother, sister, parent, child, grandchild or spouse of any of them have an interest in this application by virtue of being the actual applicant, being the owner of the actual property or having an interest in the corporation, partnership or association making such application?

☐ Yes ☒ No

PRINT NAME Stephen Searl

APPLICANT'S SIGNATURE (if other than owner) [Signature]

DATE 1/21/2025

PRINT NAME _____

OWNER'S SIGNATURE _____

DATE _____

If Yes, complete following relevant section:

For individual:

Interested Party:

NAME _____ ADDRESS _____

CITY _____ STATE _____ ZIP _____

For corporation:

Interested Party:

NAME _____ ADDRESS _____

CITY _____ STATE _____ ZIP _____

TITLE _____ DEPARTMENT _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

- The owner greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded Yes ☐ No ☐
- The actual applicant Yes ☐ No ☐
- An Officer, Director, Partner, or Employee of the applicant, or Yes ☐ No ☐
- Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant Yes ☐ No ☐

For partnership or association:

Interested Party:

NAME _____ ADDRESS _____

CITY _____ STATE _____ ZIP _____

TITLE _____ DEPARTMENT _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

- The owner greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded Yes ☐ No ☐
- The actual applicant Yes ☐ No ☐
- An Officer, Director, Partner, or Employee of the applicant, or Yes ☐ No ☐
- Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant Yes ☐ No ☐



ZONING BOARD OF APPEALS

Use Variance Answer Sheet

New York State Town Law §267-1(a) states: "'Use variance' shall mean the authorization by the Zoning Board of Appeals for the use of land for a purpose which is otherwise not allowed or is prohibited by the applicable zoning regulations."

New York State Town Law §267-1(b) stated: 'The Zoning Board must answer the following questions in order to give you your variance. Help convince them by answering the following questions if you are seeking an USE VARIANCE. (A USE VARIANCE is hard to get. In order to get a USE VARIANCE the answer to each question must be yes):

- 1) Can you show that you cannot realize a reasonable return for each and every permitted use under the zoning regulations, and show that the lack of return is substantial as demonstrated by competent financial evidence?

- 2) Can you show that the alleged hardship relating to the property is question is unique, and does not apply to a substantial portion of the district or neighborhood?

- 3) Can you show that the requested use variance, if granted, will not alter the essential character of the neighborhood?

- 4) Can you show that the alleged hardship has not been self-created?



ZONING BOARD OF APPEALS

Area Variance Answer Sheet

New York State Town Law §267-1(a) states: "Area variance' shall mean the authorization by the zoning board of appeals for the use of land in a manner which is not allowed by the dimensional or physical requirements of the applicable zoning regulations."

New York State Town Law §267-b (3) b states: "The Zoning Board must answer the following questions in order to give you your variance. Help convince them by answering the following questions if you are seeking an AREA VARIANCE:

- 1) Will granting you a variance cause an undesirable change in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance? Why not?

- 2) Can the benefit you seek from this variance be achieved by some other method? What other methods have you considered, and why won't they work?

- 3) How substantial is the variance you request from what the law allows?

- 4) Will the proposed variance will have an adverse effect or impact on the physical or environmental condition in the neighborhood or district? Why or why not?

- 5) How did you get yourself into a situation where you need a variance? Was it a self-created problem? (This consideration is relevant to the decision of the board of appeals, but does not necessarily preclude the granting of the variance).

It would be beneficial to your case to secure a letter in support from neighbors of adjoining properties.

If the variance request is substantial or unusual, please be prepared to present examples of similar situations in your neighborhood in the form of photos and/or prior ZBA decisions.



ZONING BOARD OF APPEALS

Special Permit Answer Sheet

- 1) Is the proposed use the most appropriate use of this land? Yes ☒ No ☐
Explain:
The uses are appropriate as Sylvester Manor operates a variety of uses.
- 2) Will the use be detrimental to surrounding property values? Yes ☐ No ☒
Explain:
The use will not be detrimental to surrounding property values.
- 3) Will the use cause an overcrowding of land or undue concentration of population? Yes ☐ No ☒
Explain:
The use will not prompt increased use of the subject parcel.
- 4) Is the site suitable for the location of such use in the town? Yes ☒ No ☐
Explain:
The large site enables this use with no unsuitable impact.
- 5) Is the proposal harmonious with the character of the existing and probable development of uses in the vicinity? Yes ☒ No ☐
Explain:
The use will not impact probable uses in the vicinity.
- 6) Is the proposed use accessible for fire and other emergency apparatus? Yes ☒ No ☐
Explain:
The Manor House can be reached via the 80 and 116 N. Ferry Rd. entrances.
- 7) Is the proposed use unreasonably near a church, school, theater, recreational area or other place of public assembly? Yes ☐ No ☒
Explain:
- 8) Will the proposed use interfere with established uses in the neighborhood? Yes ☐ No ☒
Explain:
The use will not impact or interfere with established uses.

- 9) Are the driveways and sidewalks adequate to assure the public safety and avoidance of traffic congestion? Yes ☒ No ☐

Explain:

The proposed use will not add traffic or congestion.

- 10) Are there adequate facilities for the treatment, removal or discharge of sewage, refuse or other effluent from this use? Yes ☐ No ☒

Explain:

We have applied for an I/A replacement for the conventional septic tank

- 11) Will the proposed use cause odors, dust, light or noise, and if so, how can the impact be minimized? Yes ☐ No ☒

Explain:

- 12) Will the proposed use impact the aquifer and other important natural resources, and if so, how can they be protected? Is the lot big enough for the proposed use and its reasonable anticipated operation and expansion? Yes ☐ No ☒

Explain:

This use on the large lot will not impact natural resources.

- 13) Is there enough off-street parking for employees or visitors and is parking laid out in a convenient and safe way? Yes ☒ No ☐

Explain:

The site allows for more than adequate parking for the proposed use.

- 14) What buffers and screening are necessary to protect adjacent properties and land uses?

Explain:

None.



ZONING BOARD OF APPEALS

Mailing Notice

(Must be submitted to the ZBA Clerk 7 days prior to the scheduled hearing)

All Property Owners within 200 feet

(Addressee)

VIA CERTIFIED MAIL

YOU ARE HEREBY GIVEN NOTICE:

- 1) That an application has been made to the Zoning Board of Appeals of the Town of Shelter Island;
- 2) That the property, which is the subject of the application, is located near your property and is described as follows (address):

- 3) That by such Petition, the undersigned will request the relief described in the **attached Public Notice**.
- 4) That before the relief sought may be granted, a public hearing must be held on the matter by the Board of Appeals; The public hearing is scheduled for Wednesday, _____, at 7:30 p.m., in the Shelter Island Town Hall, 38 North Ferry Road, Shelter Island, NY; that you or representative have the right to appear and be heard at such hearing.
- 5) That you may find further information regarding this application at <https://www.shelterislandtown.us/zoning>

PRINT NAME

APPLICANT'S SIGNATURE



ZONING BOARD OF APPEALS

Affidavit of Mailing of Notice

(Must be submitted to the ZBA Clerk 7 days prior to the scheduled hearing)

NAME

ADDRESS

| | |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

State of _____

County of _____

SS:

_____, residing at _____

Being duly sworn deposes and says that on the ____ day of _____, 20____ deponent mailed a true copy of the Mailing Application, directed to each of the above-named persons at the addresses set opposite their respective names; that the addresses are shown on the current assessment roll of the Town of Shelter Island; and that said notices were mailed at the US Post Office at _____; that said notices were sent by Certified Mail, Return Receipt requested at least 30 days prior to the hearing.

Applicant's Signature

Sworn to before me, this _____ day of _____, 20____.

Notary Public



ZONING BOARD OF APPEALS

Affidavit of Posting

(This form must be notarized and submitted to the ZBA Clerk
the day of the scheduled hearing)

**(Photograph of the posted sign must be emailed to ZBA clerk at least
30 days prior to the hearing date.)**

Section 133-34, Variances and Special Permit, of the Town Code requires:

The applicant or his agent shall also erect or cause to be erected a sign or signs which shall be displayed on the parcel upon which the application is made, facing each public street on which the property abuts, giving notice that an application has been made to the Zoning Board of Appeals, and stating the time and place where the public hearing will be held. The sign(s) shall not be located more than 10 feet from the street line, and shall not be less than two feet nor more than six feet above the natural grade at the street line. The sign(s) shall be displayed for not less than 30 days immediately preceding the public hearing date. The applicant shall file an affidavit with the Zoning Board that he has complied with the provisions of this section. Failure to submit such affidavit shall result in the adjournment of the public hearing.

I hereby certify that the posting requirements of the above code section has been satisfied by _____ posting the require signs at least 30 days prior to the public hearing on ZBA application.

Signature

Sworn to before me, this _____ day of _____, 20____.

Notary Public



ZONING BOARD OF APPEALS

Owner's Endorsement

State of New York

County of Westchester

SS:

Marc Robert, being duly sworn, deposes and says:

I reside at 90 Brookfield Road, Mount Vernon,

In the County of Westchester and the State of New York,

and I am the (owner in fee) (officer of the Corporation which is the owner in fee) of the premises described in the foregoing and that I have authorized Stephen Searl to make the foregoing application as described herein.

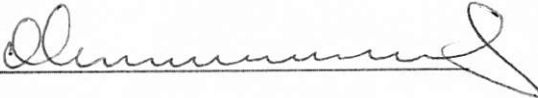
Name: Marc Robert

Name of the Corporation Sylvester Manor Educational Farm

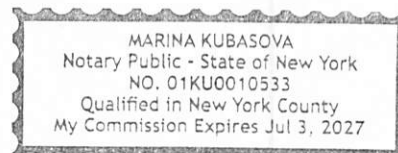
Office's Title President Board of Trustees

Signature 

Sworn to before me, this 21st day of January, 2025.



Notary Public





200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Subject Property:

Parcel Number: 700-8.-1-5.10
CAMA Number: 700-8.-1-5.10
Property Address: 80 Ferry Rd

Mailing Address: Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964-2029

Abutters:

Parcel Number: 700-14.-4-17
CAMA Number: 700-14.-4-17
Property Address: 95 Ferry Rd

Mailing Address: Mary C. Chobor Irr. Trust
P.O. Box 1003
Shelter Island Heights, NY 11965

Parcel Number: 700-14.-4-18.7
CAMA Number: 700-14.-4-18.7
Property Address: 91 Ferry Rd

Mailing Address: Louis Katsos Barbara Katsos
176 Morris Ave
Rockville Centre, NY 11570

Parcel Number: 700-14.-4-18.8
CAMA Number: 700-14.-4-18.8
Property Address: 93 Ferry Rd

Mailing Address: Loudon S. Wainwright III
360 Hamilton Ave Ste 100
White Plains, NY 10601

Parcel Number: 700-14.-4-18.9
CAMA Number: 700-14.-4-18.9
Property Address: 97 Ferry Rd

Mailing Address: Robert Reylek Heather Reylek
P.O. Box 617
Shelter Island Hgts., NY 11965-0617

Parcel Number: 700-14.-4-19
CAMA Number: 700-14.-4-19
Property Address: 89 Ferry Rd

Mailing Address: Charles Magill
P.O. Box 1584
Shelter Island, NY 11964

Parcel Number: 700-14.-4-2
CAMA Number: 700-14.-4-2
Property Address: 115 Ferry Rd

Mailing Address: William Johnston III
P.O. Box 3038
Shelter Island Hgts., NY 11965-3038

Parcel Number: 700-14.-4-21.1
CAMA Number: 700-14.-4-21.1
Property Address: 99 Ferry Rd

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-14.-4-3
CAMA Number: 700-14.-4-3
Property Address: 111 Ferry Rd

Mailing Address: Laura Gentile
233 Fifth Ave
New York, NY 10016

Parcel Number: 700-14.-4-4.5
CAMA Number: 700-14.-4-4.5
Property Address: 105 Ferry Rd

Mailing Address: George Schultheis
P.O. Box 1149
Shelter Island Hgts., NY 11965-1149

Parcel Number: 700-15.-1-1
CAMA Number: 700-15.-1-1
Property Address: 87 Ferry Rd

Mailing Address: Breglio's Market LLC
P.O. Box 493
Shelter Island, NY 11964-0493



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1/29/2025

Page 1 of 6



200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Parcel Number: 700-15.-1-2
CAMA Number: 700-15.-1-2
Property Address: 85 Ferry Rd

Mailing Address: 85 North Ferry Road LLC
P.O. Box 2011
Shelter Island, NY 11964

Parcel Number: 700-15.-1-3
CAMA Number: 700-15.-1-3
Property Address: 75 Ferry Rd

Mailing Address: GNP Properties, LLC
1038 Park Blvd
Massapequa Park, NY 11762

Parcel Number: 700-15.-3-1.1
CAMA Number: 700-15.-3-1.1
Property Address: 8 Manwaring Rd

Mailing Address: 8 Manwaring LLC
P.O. Box 1533
Shelter Island, NY 11964

Parcel Number: 700-15.-3-1.2
CAMA Number: 700-15.-3-1.2
Property Address: 4 Manwaring Rd

Mailing Address: SI Corner LLC
P.O. Box 1533
Shelter Island, NY 11964

Parcel Number: 700-15.-3-1.4
CAMA Number: 700-15.-3-1.4
Property Address: 6 Manwaring Rd

Mailing Address: SI Barn LLC
P.O. Box 1533
Shelter Island, NY 11964

Parcel Number: 700-15.-3-10
CAMA Number: 700-15.-3-10
Property Address: 51 St. Mary's Rd

Mailing Address: Karla L. Friedlich
P.O. Box 60
Shelter Island, NY 11964-0060

Parcel Number: 700-15.-3-12.1
CAMA Number: 700-15.-3-12.1
Property Address: 16 Manwaring Rd

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-15.-3-12.2
CAMA Number: 700-15.-3-12.2
Property Address: 20 Manwaring Rd

Mailing Address: Charles R. Gulluscio
P.O. Box 729
Shelter Island, NY 11964-0729

Parcel Number: 700-15.-3-2
CAMA Number: 700-15.-3-2
Property Address: 12 Manwaring Rd

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-15.-3-3
CAMA Number: 700-15.-3-3
Property Address: 14 Manwaring Rd

Mailing Address: Christian E. Johnson
P.O. Box 369
Shelter Island Hgts., NY 11965-0369

Parcel Number: 700-15.-3-5.1
CAMA Number: 700-15.-3-5.1
Property Address: 18 Manwaring Rd

Mailing Address: Happy Groundhog LLC
P.O. Box 493
Shelter Island, NY 11964

Parcel Number: 700-15.-3-6
CAMA Number: 700-15.-3-6
Property Address: 22 Manwaring Rd

Mailing Address: George Ehrman Jennifer Payne
P.O. Box 265
Shelter Island, NY 11964-0265



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1/29/2025

Page 2 of 6



200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Parcel Number: 700-15.-3-7
CAMA Number: 700-15.-3-7
Property Address: 24 Manwaring Rd

Mailing Address: Dirk Van Dall Katharine M. Lawless
P.O. Box 20
Shelter Island, NY 11964-0020

Parcel Number: 700-15.-4-1
CAMA Number: 700-15.-4-1
Property Address: 3 Ram Island Rd

Mailing Address: The S.I. Tale, LLC
181 Hillside Ave
Williston Park, NY 11596

Parcel Number: 700-15.-4-2
CAMA Number: 700-15.-4-2
Property Address: 1 Ram Island Rd

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-15.-4-4
CAMA Number: 700-15.-4-4
Property Address: 44 St. Mary's Rd

Mailing Address: Joan Vecsey
P.O. Box 20
Shelter Island Hts., NY 11965

Parcel Number: 700-28.-1-102.1
CAMA Number: 700-28.-1-102.1
Property Address: Under Water

Mailing Address: State of New York

Albany, NY 12223

Parcel Number: 700-7.-4-15.2
CAMA Number: 700-7.-4-15.2
Property Address: 29 Winthrop Rd

Mailing Address: 29 Carriage House LLC
860 5th Ave Apt 18B
New York, NY 10065

Parcel Number: 700-7.-4-33
CAMA Number: 700-7.-4-33
Property Address: 30 Winthrop Rd

Mailing Address: Donald J. Young JoAnn F. Young
P.O. Box 486
Shelter Island, NY 11964-0486

Parcel Number: 700-7.-4-78.1
CAMA Number: 700-7.-4-78.1
Property Address: 140 Ferry Rd

Mailing Address: Timothy Haynes Kevin Roberts
601 W 26th St Ste 1655
New York, NY 10001

Parcel Number: 700-7.-4-78.2
CAMA Number: 700-7.-4-78.2
Property Address: 118 Ferry Rd

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-7.-6-1
CAMA Number: 700-7.-6-1
Property Address: 116 Ferry Rd

Mailing Address: Wigland116, LLC
601 W 26th St Ste 1655
New York, NY 10001

Parcel Number: 700-7.-6-2
CAMA Number: 700-7.-6-2
Property Address: Underwater Land

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-7.-7-16
CAMA Number: 700-7.-7-16
Property Address: 33 Winthrop Rd

Mailing Address: Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964-2029



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1/29/2025

Page 3 of 6



200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Parcel Number: 700-7.-7-17
CAMA Number: 700-7.-7-17
Property Address: 35 Winthrop Rd

Mailing Address: Peter Vielbig
P.O. Box 637
Shelter Island Hgts., NY 11965-0637

Parcel Number: 700-7.-7-18
CAMA Number: 700-7.-7-18
Property Address: 37 Winthrop Rd

Mailing Address: Non-Exempt Marital Trust
39 E 79th St Apt 7-B
New York, NY 10075

Parcel Number: 700-7.-7-19
CAMA Number: 700-7.-7-19
Property Address: 39 Winthrop Rd

Mailing Address: 2 Cobbetts Lane LLC
P.O. Box 1235
Shelter Island Hgts, NY 11965-1235

Parcel Number: 700-7.-7-20
CAMA Number: 700-7.-7-20
Property Address: 41 Winthrop Rd

Mailing Address: Non-Exempt Marital Trust
39 E 79th St Apt 7-B
New York, NY 10075

Parcel Number: 700-7.-7-21.3
CAMA Number: 700-7.-7-21.3
Property Address: 43 Winthrop Rd

Mailing Address: Oscar T. Slotterbeck Caroline Ritter
1088 Park Ave Apt 6-B
New York, NY 10128

Parcel Number: 700-7.-7-29
CAMA Number: 700-7.-7-29
Property Address: 48 Winthrop Rd

Mailing Address: Oscar T. Slotterbeck Caroline Ritter
1088 Park Ave Apt 6-B
New York, NY 10128

Parcel Number: 700-7.-7-31
CAMA Number: 700-7.-7-31
Property Address: 2 Cobbetts Ln

Mailing Address: 2 Cobbetts Lane LLC
P.O. Box 1235
Shelter Island Hgts, NY 11965-1235

Parcel Number: 700-8.-1-1.6
CAMA Number: 700-8.-1-1.6
Property Address: 6 Cobbetts Ln

Mailing Address: Non-Exempt Marital Trust
39 E 79th St Apt 7-B
New York, NY 10075

Parcel Number: 700-8.-1-2.2
CAMA Number: 700-8.-1-2.2
Property Address: 10 Cobbetts Ln

Mailing Address: Cobbetts Lane Two LLC
51 Division St Ste 412
Sag Harbor, NY 11963

Parcel Number: 700-8.-1-2.3
CAMA Number: 700-8.-1-2.3
Property Address: 8 Cobbetts Ln

Mailing Address: Cobbetts Lane LLC
51 Division St Ste 412
Sag Harbor, NY 11963

Parcel Number: 700-8.-1-3.4
CAMA Number: 700-8.-1-3.4
Property Address: 61 Manhasset Rd

Mailing Address: Charles Fleckenstein III
P.O. Box 176
Shelter Island Hgts., NY 11965-0176

Parcel Number: 700-8.-1-3.5
CAMA Number: 700-8.-1-3.5
Property Address: 63 Manhasset Rd

Mailing Address: Lorna D. Laspia Michael Laspia
P.O. Box 364
Shelter Island, NY 11964-0364



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1/29/2025

Page 4 of 6



200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Parcel Number: 700-8.-1-3.6
CAMA Number: 700-8.-1-3.6
Property Address: 18 Cobbetts Ln

Mailing Address: Maury F. Laspia Lorna D. Laspia
P.O. Box 292
Shelter Island, NY 11964

Parcel Number: 700-8.-1-3.8
CAMA Number: 700-8.-1-3.8
Property Address: 16 Cobbetts Ln

Mailing Address: Lew & Donna Kilb Family Trust
P.O. Box 223
Shelter Island, NY 11964

Parcel Number: 700-8.-1-5.3
CAMA Number: 700-8.-1-5.3
Property Address: 82 Ferry Rd

Mailing Address: Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964-2029

Parcel Number: 700-8.-1-5.5
CAMA Number: 700-8.-1-5.5
Property Address: 59 Manhasset Rd

Mailing Address: Sylvester Manor Education Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964-2029

Parcel Number: 700-8.-1-5.8
CAMA Number: 700-8.-1-5.8
Property Address: 80 Ferry Rd

Mailing Address: Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964-2029

Parcel Number: 700-8.-1-5.9
CAMA Number: 700-8.-1-5.9
Property Address: 80 Ferry Rd

Mailing Address: Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964

Parcel Number: 700-8.-2-1.2
CAMA Number: 700-8.-2-1.2
Property Address: 54 Manhasset Rd

Mailing Address: John M. Basnage De Beauval
P.O. Box 569
Shelter Island Hgts., NY 11965-0569

Parcel Number: 700-8.-2-1.21
CAMA Number: 700-8.-2-1.21
Property Address: 2 Locust Woods Dr

Mailing Address: Town of Shelter Island
P.O. Box 970
Shelter Island, NY 11964-0970

Parcel Number: 700-8.-2-1.3
CAMA Number: 700-8.-2-1.3
Property Address: 56 Manhasset Rd

Mailing Address: S. Sambur, Trustee Kontakos Trust, Valerie
One Battery Park Plz
New York, NY 10004

Parcel Number: 700-8.-2-1.6
CAMA Number: 700-8.-2-1.6
Property Address: 1 Locust Woods Dr

Mailing Address: Matthew Arendt
P.O. Box 535
Shelter Island, NY 11964

Parcel Number: 700-8.-2-1.7
CAMA Number: 700-8.-2-1.7
Property Address: 2 Bonnie Ln

Mailing Address: Nashipai Farm, LLC
1 South Rd
Sands Point, NY 11050

Parcel Number: 700-8.-2-55
CAMA Number: 700-8.-2-55
Property Address: 3 Williette Rd

Mailing Address: Kling-Luddecke Trust
205 Clay Gully Trl
Ponte Vedra, FL 32081



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



200 feet Abutters List Report

Shelter Island, NY

January 29, 2025

Parcel Number: 700-8.-2-56
CAMA Number: 700-8.-2-56
Property Address: 8 Manhasset Rd

Mailing Address: William Johnston Jr.
P.O. Box 628
Shelter Island Hgts., NY 11965-0628

Parcel Number: 700-8.-2-57
CAMA Number: 700-8.-2-57
Property Address: 6 Manhasset Rd

Mailing Address: Darren Kiley Paula Kiley
P.O. Box 1891
Shelter Island, NY 11964

Parcel Number: 700-8.-2-59.1
CAMA Number: 700-8.-2-59.1
Property Address: 4 Manhasset Rd

Mailing Address: Elizabeth Mckee
643 W 207th St Apt 2C
New York, NY 10034

Parcel Number: 700-8.-2-61
CAMA Number: 700-8.-2-61
Property Address: 5 Ram Island Rd

Mailing Address: Andra Macdonald
P.O. Box 156
Shelter Island, NY 11964-0156

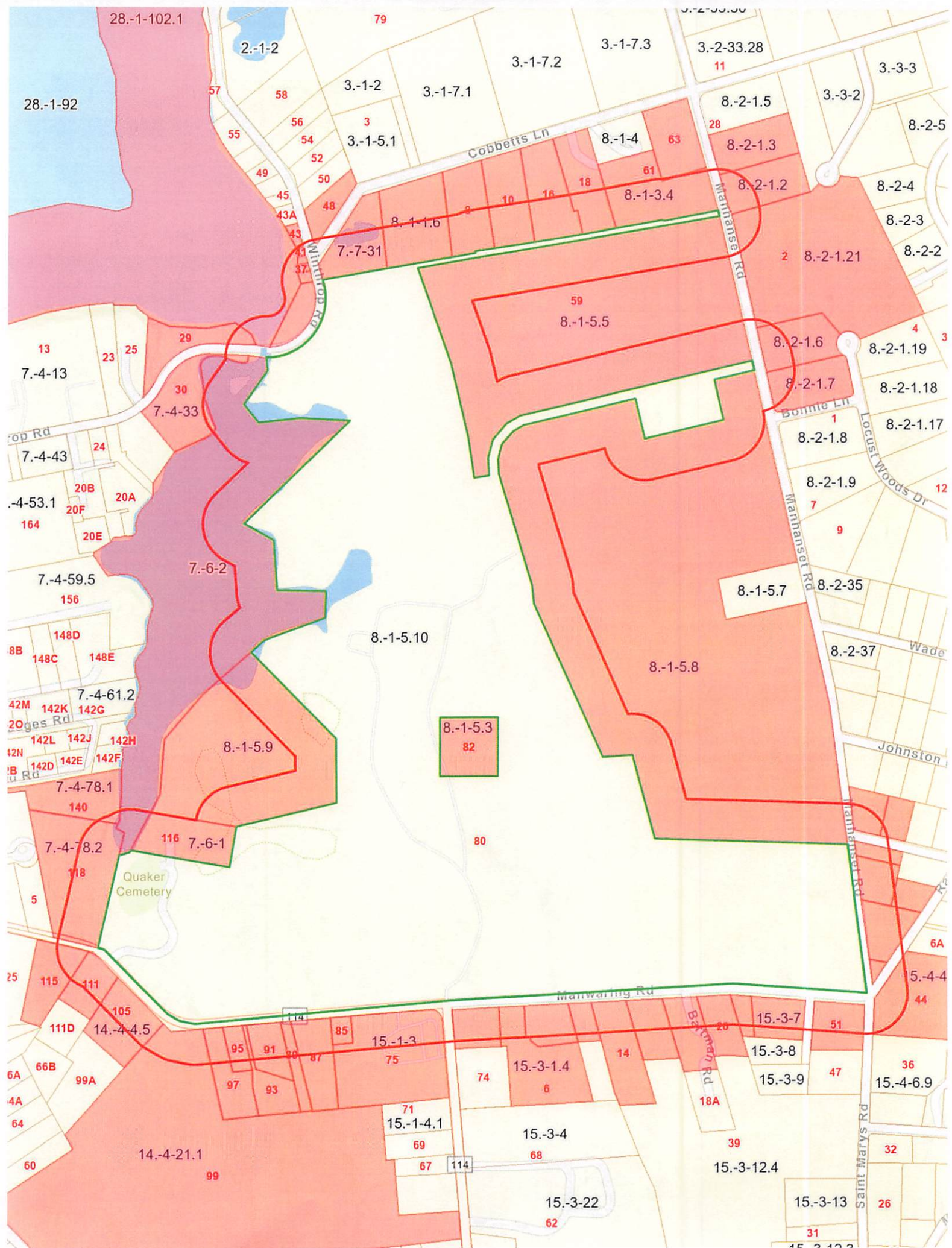


www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

1/29/2025

Page 6 of 6



APPLICATION EXHIBIT LIST

- A - December 23, 2024 and October 31, 2024 letters to Building Inspector.
- B - January 16, 2025 Notice of Disapproval
- C - Letters in Support
- D - Deed
- E - All Certificates of Occupancy
- F - Violations
- G - Special Permit Criteria (January 31, 2025)
- H - Short Form EAF (January 31, 2025)
- I - NYSDEC Letter of Non-jurisdiction dated April 29, 2024

EXHIBIT “A”

December 23, 2024

VIA EMAIL

Reed Karen, Senior Building Inspector
Town of Shelter Building Department
38 N. Ferry Road
Shelter Island, NY 11964

Re: Application for Special Use Permit
Sylvester Manor Educational Farm, Inc. d/b/a Sylvester Manor
80 North Ferry Road, P.O. Box 2029, Shelter Island, NY 11964
SCTM No. 8-1-5.10 and 5.3

Dear Reed:

Our law firm represents Sylvester Manor Educational Farm, Inc. ("Sylvester Manor"), a not-for-profit corporation, in their application to the Town of Shelter Island Zoning Board of Appeals ("ZBA") for a Special Permit. Sylvester Manor is scheduled to appear at the ZBA meeting on February 26, 2025 and the Board has advised that we are to proceed on that date or withdraw the application. For many reasons, it is important that we proceed before the ZBA on the scheduled date. This letter supplements our previous submission of October 31, 2024, which requested the issuance of a revised Notice of Disapproval. If issued as requested, this would require Sylvester Manor to file for a Special Permit under Town Code Section 133-7(D)(5) and Section 133-8(D)(27). As per your request, we offer here a more detailed explanation of the broad and important uses at Sylvester Manor and supported by the Town Code under these two sections.

First, the AA Zone allows as a permitted use "one-family dwellings" and "[t]he raising of trees, shrubs and food crops and the tillage of the soil generally." See Section 133-7(C)(1) and (3). Section 133-7(E)(3) also permits uses, structures, and buildings accessory to these uses. Sylvester Manor contains multiple dwellings, namely the 1737 Manor House, Wissemann Cottage, and the Old Farmhouse, and the property as a whole includes the potential for future residential and commercial development. Thus, the property has a number of residential uses. Portions of the Sylvester Manor property are also used for agriculture and significant acreage has been protected in perpetuity through deeds of development rights or other conservation instruments.

Sylvester Manor asks that the Town recognize these residential and agricultural uses, and those uses customarily incidental and accessory to them. With respect to agriculture, accessory uses include but are not limited to: agricultural structures such as the Benjamin Glover Barn,

December 23, 2024

Page 2 of 2

Engine Barn, Furnace House, Garden Shed, Long Barn, Privy, Pump House, Small Barn, The Hive, and The Pole Barn, agricultural equipment as defined by NYS Executive Law §372, a seasonal farm stand, educational and cultural programs related to farming, offices, special events, and recreation including but not limited to trails and water access. It is respectfully submitted that all of these are “of the same general character as any of the uses” specifically permitted in Section 133-7.

Second, the AA Zone allows “[e]ducational institutions” as a permitted use upon the issuance of a special permit. See Section 133-7(D)(3). While Sylvester Manor is not an “educational institution” as set forth in the Code, many of its uses are “of the same general character” and should be permitted under Section 133-7(D)(5). For example, the Manor House serves not only as a site of historic interpretation, but also as a center for educational, cultural and research activities on the property, provides accommodations for visiting artists, scholars and guests (not the general public), and includes offices for staff. In addition, much of the Sylvester Manor property is used for related educational, archeological and cultural research, special events, and similar programs. We respectfully submit that all of these uses should be recognized and permitted under Section 133-7(D)(5).

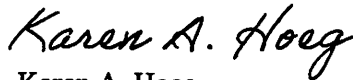
Similarly, Section 133-8 (District B (Business)) recognizes “the raising of trees, shrubs and food crops and the tillage of the soil generally” as a permitted use, see 133-8(C)(3)(e), “[e]ducational institutions” as a permitted use upon the issuance of a special permit, see 133-8(C)(3)(e) and 133-8(D)(8). Since a portion of the Sylvester Manor property lies within the B Business Zone, we request a similar analysis as set forth above.

In sum, we seek to have the following nonprofit uses recognized in the Special Permit on the respective lots: agricultural, farming, historic interpretation, educational and cultural programming, research, residential, business, archeological, and recreational uses.

For all these reasons, as well as those set forth above, as well as in our October 31, 2024 letter, we respectfully request that the Notice of Disapproval be amended so that a revised application for a Special Permit can be submitted to the ZBA.

Thank you for your professional courtesy and your consideration.

Very truly yours,



Karen A. Hoeg

cc: Stephen Searl, Executive Director, Sylvester Manor
Stephen Kiely, Town Attorney
Philip DiOrio, Chair, Zoning Board of Appeals, Town of Shelter Island
Kristina Martin Majdisova, Administrative Assistant, Town of Shelter Island

October 31, 2024

VIA EMAIL

Reed Karen, Senior Building Inspector
Town of Shelter Building Department
38 N. Ferry Road
Shelter Island, NY 11964

Re: Application for Special Use Permit
Sylvester Manor Educational Farm, Inc. d/b/a Sylvester Manor
80 North Ferry Road, Shelter Island, NY 11964
SCTM No. 8-1-5.10 and 5.3; Zone: AA

Dear Reed:

Our law firm represents Sylvester Manor Educational Farm, Inc. ("Sylvester Manor"), a not-for-profit corporation, in their application to the Town of Shelter Island Zoning Board of Appeals ("ZBA") for a Special Use Permit.

Background

On February 2, 2024, Sylvester Manor filed a building permit application for certain work to the Manor House on the property ("Manor House Rehabilitation Project"). The application requested the permit for exterior and interior renovations of the existing 1737 Manor House, with no expansion, removal of a 1960 cabana addition at the north elevation, and a change of occupancy to an educational/residential use. The Manor House has been in disrepair/deteriorating for many years, and Sylvester Manor was awarded a \$500,000 grant from New York State Environmental Protection Fund in 2022 and a \$750,000 grant from the National Park Service in 2023 for the exterior rehabilitation work. These grant contracts have limited performance periods for which extensions are not guaranteed.

You issued a Notice of Disapproval on March 22, 2024 (see Notice of Disapproval attached as Exhibit A). In response, Sylvester Manor filed an application for a Special Use

Permit to operate as an educational institution in April 2024, and that application has been pending before the Zoning Board of Appeals.¹

Upon further review and analysis of the Town of Shelter Island Town Code and the extensive property and historical records for Sylvester Manor, we have determined that the Special Permit designation as an "educational use" initially requested under Town Code §133-7(D)(2) is not an appropriate classification.

The purpose of this letter is to request an amended Notice of Disapproval so that the Applicant can instead request a Special Permit under Town Code §133-7(D)(5) for Tax Lot 5.10 and 5.3. Specifically, this provision recognizes "any use of the same general character as any of the uses herein specifically permitted in this section."

This request is based on several important considerations. First, while the Applicant engages in educational programs and aspires to be a center for place-based learning and academic research based on its broad and deep historical collections, Sylvester Manor is not an educational institution. Such entities are typically defined as schools (see Town Code §133-7(D)(2) and Sylvester Manor is not now and does not seek to become a traditional school; in fact, its charter explicitly prohibits this.

Second, the subject property is quite complex, comprised of 236 acres and multiple tax lots. It is listed on the National Register of Historic Places. The uses conducted over this large acreage are distinct from and much broader than an educational institution. Unique to Sylvester Manor, these uses consist of a hybrid of agricultural, horticultural, cultural, archeological, educational, and residential, along with the functions necessary to sustain these uses. The broad mission of Sylvester Manor is also reflected in the types of structures over the expansive property, as well as the number of conservation easements in place to preserve the property's agricultural, historic, scenic, environmental and cultural attributes.

Shelter Island Code

Unfortunately, the unique resource that is Sylvester Manor does not fit easily into any Town Code provision. Absent a change in Shelter Island's Zoning Code, the institution is left to work within the confines of the existing Town Code.²

Most of the Sylvester Manor property, including the Manor House which is the subject of this application and situated on tax lot 5.10, is zoned AA Residential District, with zoning allowances for "low density residential development in coastal environments" (see Town Code §133-7A). Principal uses set forth in §133-7(C) are a one family dwelling, and the raising of trees, shrubs, plants, and food crops and the tillage of the soil generally. Tax lot 5.10 is roughly 138 acres and straddles the Business B District, with zoning allowances for "mixed business

¹ Sylvester Manor retained Twomey, Latham after filing the application for a special use permit in April 4, 2024.

² Over the past several years, Sylvester Manor has conducted extensive discussions with the Town regarding possible Code changes. These may be more appropriate following adoption of the Comprehensive Plan Update.

uses, including residential; business, retail, and other services for Island residents and visitors.” See Town Code §133-8.

Section 133-7(D)(5) of the Town Code recognizes additional principal uses in the AA Residence District, upon the issuance of a special permit from the Zoning Board of Appeals, including “[a]ny use of the same general character as any of the uses herein specifically permitted in this section.” See also Town Code §133-8(D)(27).

Sylvester Manor respectfully submits that it meets the qualifications for a Special Permit for uses of the “same general character” as those enumerated in the AA Residential and B Business Districts. Such a zoning designation will allow the Applicant to continue its current operations, consistent with its mission to promote historic preservation, sustainable agriculture, education, environmental preservation, culture and the arts and to enhance the future use of the property. And, most importantly, Sylvester Manor can make the much-needed repairs and improvements to the Manor House.

It is worth noting that many of the permitted accessory uses in Town Code §133-7(E) are applicable to Sylvester Manor’s historical, current, and potential future operations of the property. The Town Code permits accessory uses in the AA Residential District such as storage and repair of boats, private dock, keeping of livestock and poultry, and private garages. Business uses are also permitted including home offices or the office of a professional person. Other accessory uses are permitted in the zoning district such as accessory buildings or structures used for sleeping quarters for domestics, house guests, and members of the family with no kitchen and not for rental purposes; accessory buildings or structures used or incidental to any of the principal uses provided that the accessory building shall be on the same lot as the principal building and under the same ownership and meet the bulk regulations; bed and breakfasts and accessory apartments.

Pending ZBA Application

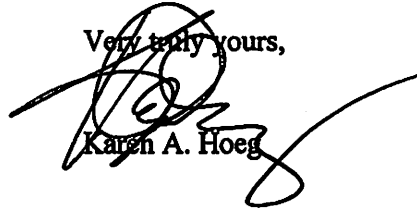
The initial Special Permit application to the Zoning Board of Appeals dated April 4, 2024, for an “educational institution” under Town Code Section 133-7(D)(2) was supplemented on June 10, 2024, to include a Full EAF, NYS DEC letter of non-jurisdiction dated April 29, 2024, and a copy of the NYS 25-year Preservation Covenant. (The Preservation Covenant is mandated as a condition of the NYS Environmental Protection Fund Historic Preservation grant awarded in 2022 for the Manor House Rehabilitation Project.) The Zoning Board meeting scheduled for July 24, 2024, was adjourned to November 20, 2024.

October 31, 2024
Page 4 of 4

Conclusion

For the foregoing reasons, Applicant respectfully requests that you amend the Notice of Disapproval to require the filing of a Special Permit application under §133-7(D)(5) so that Sylvester Manor can proceed with a revised application to the Zoning Board of Appeals.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Karen A. Hoeg', is written over the typed name. The signature is stylized with a large loop and a long horizontal stroke extending to the right.

cc: Stephen Searl, Executive Director
Stephen Kiely, Town Attorney



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
(631) 749-0772

Reed Karen: Senior Building Inspector
Brett Poleshuk: Building Inspector

NOTICE OF DISAPPROVAL

Date: 03/22/2024

Applications: ZBA Special Permit - Use

Owner:

Sylvester Manor Educational Farm Inc.
P.O. Box 2029
Shelter Island, NY 11964
sgordon@sylvestermanor.org

Name of Applicant:

Same

Location of Property: 80 N Ferry Rd County Tax Map No. 8.-1-5.10 Zone: AA

Please take notice that your application dated 02/02/2024

Requesting a permit for exterior and interior renovation of existing 1737 Sylvester Manor House with no expansion, and removal of 1960 Cabana addition at north elevation, and change of occupancy to Educational Use in an AA-residential Zone.

Is returned herewith and disapproved on the following grounds:

Shelter Island Town Code §133-7 District AA (Residential). D. Permitted principal uses requiring a Special Permit by the Zoning Board of Appeals lists in subsection (2): Educational institutions, subject to the following requirements:

- (a) No building shall be less than 50 feet from any street or boundary line.
- (b) Any school shall be a nonprofit organization within the meaning of the Internal Revenue Act and shall be registered effectively thereunder as such.

Your proposed change of use therefore requires a Town Board Special Permit before we can issue a Building Permit.

Please Contact the ZBA clerk to apply for a ZBA Special Permit

Authorized Signature: _____

Note to Applicant: Any change or deviation to the above referenced application may require further review by the Shelter Island Building Department. This denial letter is valid for two years from the date of issuance.

EXHIBIT “B”



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
(631) 749-0772

Reed Karen: Senior Building Inspector

NOTICE OF DISAPPROVAL

Date: 01/16/2025

Applications: ZBA Special Permit -Use
Town Board Site Plan Review

Owner:

Sylvester Manor Educational Farm Inc.
P.O. Box 2029
Shelter Island, NY 11964

Name of Applicant: Same

Location of Property: 80 N Ferry Rd County Tax Map No. 8.-1-5.10 Zone: AA & B

Please take notice that your application dated 01/16/2025

Requesting a permit for exterior and interior renovation of existing 1737 Sylvester Manor House with no expansion, and removal of 1960 Cabana addition at north elevation, and change of occupancy to Mixed use in an AA-residential Zone. These uses to include "agricultural, farming, historic interpretation, educational and cultural programming, research, residential, business, archeological, and recreational uses."

Is returned herewith and disapproved on the following grounds:

Shelter Island Town Code §133-7 District AA (Residential). D. Permitted principal uses requiring a Special Permit by the Zoning Board of Appeals lists in subsection (2): "Educational institutions" and under (5) "Any use of the same general character as any of the uses herein specifically permitted in this section".

Your proposed change of use therefore requires a ZBA Special Permit before we can issue a Building Permit.

Furthermore, in Chapter 109 – Site Plan Review-2 Applicability A. reads: "When required. This chapter shall apply to any land use that is permitted pursuant to Chapter 133 of the Town Code, except a single-family or two-family home use, on a single and separate lot, and customary accessory uses thereto when: [Amended 6-24-2024 by L.L. No. 8-2024]"

(1) The use is commenced; or

(2) The use is significantly changed, altered, or expanded, or the intensity increased in a manner that will significantly affect the characteristics of the site as outlined in § 109-3A; or



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970

Shelter Island, New York 11964

(631) 749-0772

(2)

(3) One applies for a building permit for any use, building or structure, except the single-family or two-family home use on a single and separate lot, customary accessory uses to single-family or two-family residential home use as stated in the Town Code.

Therefore, your application requires a Town Board Site Plan Review, as it triggers all three criteria.

Please see the ZBA clerk and the Town Board Clerk, to apply for the required approvals listed above.

Authorized Signature: _____

Note to Applicant: Any change or deviation to the above referenced application may require further review by the Shelter Island Building Department. **This denial letter is valid for two years from the date of issuance.**

EXHIBIT “C”

July 20, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

We enthusiastically support Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit is one of the most valuable organizations on the Island with a commendable history of both **strengthening and serving our community**; and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

This long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. In fact, when people visit us on Shelter Island, Sylvester Manor is always a highlight and a reminder that cultural history plays in enriching our understanding of our past. But it is also a living history, not stagnant, providing a fertile base from which our community can continue to grow and learn.

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to **unanimously approve** Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code.

Please endorse this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,
Mary And Mike Ward
29A Osprey Road
P.O. Box 825
Shelter Island, NY 11964

A handwritten signature in black ink that reads "Mary & Mike Ward". The signature is fluid and cursive, with the ampersand being particularly prominent.

Jay and Judy Card
11 Locust Wood Dr
Shelter Island, NY 11964
Leafcard@aol.com
7/16/2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

We are expressing our support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

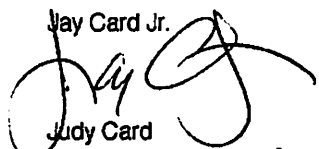
- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

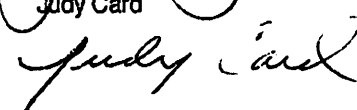
We join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,

Jay Card Jr.



Judy Card



Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

July 17,2023

Dear ZBA Members,

We have been very involved with Sylvester Manor from the time of its transition to a not for profit. It has been a tremendous pleasure to see it evolve from a private home and garden to the heart of an organization with multiple community benefits. Sylvester Manor is now applying for a Special Use Permit for Educational Use, and I can't imagine anything more appropriate. The Manor educates us into the history of our Island, the history of this remarkable family and their home, and casts a wider eye the history of our country and particularly its social history.

Sylvester Manor's application is for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

Shelter Islanders have been asking for years to restore the Manor House, making it accessible to all. Finally this is happening for all to see and participate in.

Benefits to Shelter Island include education for our community and visiting students/guests, but a wider vista of the history of our country interesting to all of us. This project will bring more people to the Manor, create new jobs, and economic benefits to our island.

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives us full confidence in its ability to bring this project to fruition.

This complex project has taken time to evolve and find its particular niche in our usual island. We support the ZBA application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. We are fortunate to have this opportunity for growth.

Sincerely,

Michael Coles and Edie Landeck
ediedoc@aol.com

Nancy E Cooley
6 Cobbetts Lane
Shelter Island, NY 11964-0076
nelcooley@OUTLOOK.COM
July 24, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

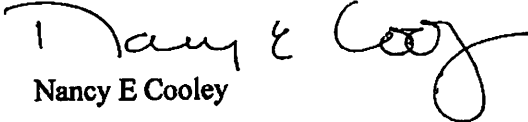
The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor, with its vision, expertise, and dedication, is more than capable of successfully carrying out this project. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse and support this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,


Nancy E Cooley

Re Sylvester Manor

Ingrid Fagen <ingridfagen@gmail.com>

Sat 7/20/2024 9:28 AM

To: Kristina Martin Majdisova <kmartin@shelterislandtown.gov>

EXTERNAL

Robert and Ingrid Fagen
1 Tarkettle Rd PO Box 753
Shelter Island, NY 11964
Ingridfagen@gmail.com
July 20, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my our support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,
Robert and Ingrid Fagen

Caution: This is an external email. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Robert P. Ferris
3 Dering Woods Road
PO Box 814
Shelter Island Hts, NY 11965

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

July 20, 2024

Dear Members of the ZBA,

I am writing to express my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House at 80 North Ferry Road.

The Sylvester Farm organization and their programming are a great asset for our island. They have been great stewards of the land and are very capable of executing this project. The staff has the expertise, knowledge and funds to accomplish this project.

Thank you for your work to preserve and enhance Shelter Island.

Yours Sincerely,



Robert P. Ferris

Mary Fran Gleason
PO Box 4
Shelter Island, NY 11964
July 20, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

The rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

I ask the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code.

Sincerely,

Mary Fran Gleason, president
Shelter Island Historical Society

Liz Hanley
165 North Ferry Road
Shelter Island Heights, NY 11965

Jul 20, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. The project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,

Liz Hanley

July 22, 2024

Timothy Haynes and Kevin Roberts
116 N. Ferry Road
Shelter Island, NY
Tim@haynesroberts.com

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

We are expressing our support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets. As architects and designers, we feel the restoration and preservation of this historic property is of the utmost importance to Shelter Island. Breathing new life into it as viable asset that engages the community is essential and deserves our full-fledged support.

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor, with its vision, expertise, and dedication, is more than capable of successfully carrying out this project. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

We join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse and support this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'T' followed by a horizontal line that extends to the right, ending in a small dot.

Timothy Haynes and Kevin Roberts

Shelter Island Historical Society

President

Mary Fran Gleason

Vice President

Christopher Carey

Secretary

Elizabeth Nardin

Treasurer

Peg DiOrio

Board of Directors

Lenore Berner
Amy Cococcia
Jeffery Feingold
Maggie Murphy

Nanette Lawrenson
16 S Ferry Rd
Shelter Island, NY 11964
execdirector@shelterislandhistorical.org
July 22, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

Honorary Directors

William Pedersen
Carolyn Denning
D. Jean Dickerson
Louise T. Green
Belle Lareau
Phyllis Wallace

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

Executive Director

Nanette Lawrenson

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

Archivist

Kaitlin Ketcham

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Havens Store Manager

Sergio Pierro

Sylvester Manor collaborates with other Island cultural organizations to provide programs benefit our residents and visitors. I feel confident that the nonprofit's plans to restore and transform the former Sylvester home into a community resource will be a valuable addition to the quality of Island life.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse and support this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,

Nanette Lawrenson
Executive Director
Shelter Island Historical Society

The Shelter Island Historical Society is a 501(3) organization. No goods or services are provided in exchange for donations. Donations are tax deductible as allowed by law.

16 South Ferry Road, POB 847, Shelter Island, NY 11964
www.shelterislandhistorical.org P 631.749.0025

Karen Kelsey
3 Dering Woods Road
PO Box 814
Shelter Island Hts, NY 11965

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear Members of the ZBA,

I am writing to express my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House at 80 North Ferry Road.

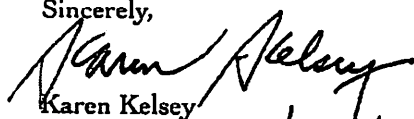
This nonprofit has a long history of serving the residents of Shelter Island, and this rehabilitation will enhance that tradition and provide numerous benefits, including the following:

- Accessibility
- Community programming and educational opportunities
- Job creation and local economic benefits

Sylvester Manor staff have demonstrated the capacity to plan and execute complex projects. This current endeavor will provide valuable improvements to the property. Please approve the Special Use Permit, and endorse the community benefits that will accrue.

Thank you for your work to preserve and enhance Shelter Island.

Sincerely,


Karen Kelsey
7/21/24

Kristina Lange
P.O. Box 408
Shelter Island, NY 11964
Kristina.lange4@gmail.com

July 17, 2024

VIA EMAIL

Zoning Board of Appeals
Town of Shelter Island
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

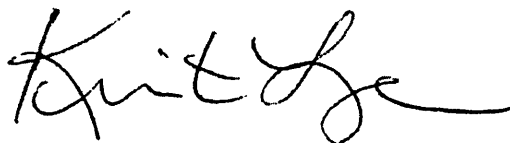
The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor, with its vision, expertise, and dedication, is more than capable of successfully carrying out this project. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse and support this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,

A handwritten signature in black ink, appearing to read "Kristina Lange", with a stylized, flowing script.

Shelter Island Public Library Society



37 North Ferry Road • PO Box 2016 • Shelter Island, NY 11964
631-749-0042 • info@silibrary.org

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964


Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. Sylvester Manor is a vital historical asset for the community. This project would allow the preservation of this asset, allowing residents and visitors to have greater access and the ability to learn the history of this special Island.

Sylvester Manor, with its vision, expertise, and dedication, is more than capable of successfully carrying out this project. The thoughtful and careful planning in making the transition from a private estate to a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse and support this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,


Terry Z. Lucas

Angelo J. Piccozzi
P O Box 642
Shelter Island Heights, NY 11965

July 21, 2024

Re: Sylvester Manor's Special Use Permit.

Dear ZBA members,

I support Sylvester Manor's application for a Special Use Permit for Educational Use.

The nonprofit is an extremely important community asset and my family and I are looking forward to a favorable outcome.

Your anticipated cooperation is greatly appreciated,

Angelo J. Piccozzi
Email: apiccozzi@gmail.com
Phone: 631 456 0051

Maggie & Todd Prager
78 Peconic Avenue
Shelter Island Heights, NY 11965

July 24, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing my support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The nonprofit has a commendable history of serving our community, and the proposed rehabilitation project presents an invaluable opportunity to preserve one of the Island's most significant heritage assets.

The long-awaited rehabilitation will breathe new life into the Manor House, making it accessible to all. What's more, the project promises numerous benefits to our community:

- Provide educational opportunities ranging from primary school field trips to advanced scholarly research
- Foster community engagement through programs and activities
- Create jobs during and after the rehabilitation process
- Generate local economic activity by attracting visitors to Shelter Island

Sylvester Manor has the vision, expertise, and dedication to carry out this project successfully. The nonprofit's meticulous planning in transitioning this former private estate into a community resource gives me full confidence in its ability to bring this project to fruition.

I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code. Please endorse this rare and significant opportunity to enhance our community while honoring our shared history.

Sincerely,
Maggie & Todd Prager



P.O. BOX 549, SHELTER ISLAND HEIGHTS, NY 11965

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing Quinipet's support for Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. Our two non-profits have a close working relationship, and we strongly support their work in the Shelter Island community. We're very excited about the proposed rehabilitation project, which will provide even broader educational opportunities.

The Manor House is our community's collective treasure, and we are fully in favor of making it accessible to all. From the windmill to the farm to concerts and plays, I'm always amazed at the creative uses of this property. I join many others in asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code.

Please endorse this unique opportunity to strengthen our community.

Sincerely,

Brooke Bradley
Executive Director Quinipet Camp & Retreat Center



TEL 631.749.0430

FAX 631.749.3403

QUINIPET@NYAC.COM

QUINIPET.ORG



SHELTER ISLAND UNION FREE SCHOOL DISTRICT



SUPERINTENDENT/PRINCIPAL, *Brian Doelger, Ed.D.*

ASSISTANT SUPERINTENDENT *Jennifer Rylott*

DIRECTOR OF ATHLETICS, PHYSICAL EDUCATION,

HEALTH, WELLNESS & PERSONNEL, *Todd Gulluscio*

DISTRICT CLERK, *Jacqueline Dunning*

DISTRICT TREASURER, *Deborah Vecchio*

BOARD OF EDUCATION

Kathleen M. Lynch, President *Katherine Rossi-Snook, Vice President*

Dawn Hedberg *Margaret Colligan* *Tracy McCarthy*

Karina Montalvo *Anthony Rando*

July 25, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I am expressing support on behalf of myself and the Shelter Island School District Board of Education for Sylvester Manor's upgrade and educational initiatives. Sylvester Manor has consistently been a wonderful neighbor to us and has greatly benefited our school community.

A restoration will improve the Manor House, making it more accessible to all, including our students. Our students take multiple field trips throughout the year to Sylvester Manor. Sylvester Manor has also worked with us to help our students learn local history. An enhancement of Sylvester Manor would most definitely have a positive impact on our students.

Sincerely,

Brian Doelger, Ed.D.
Superintendent

Hoot and Joanne Sherman
20C South Ferry Road
P.O. Box 887
Shelter Island, NY 11964

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

July 17, 2024

Dear ZBA Members,

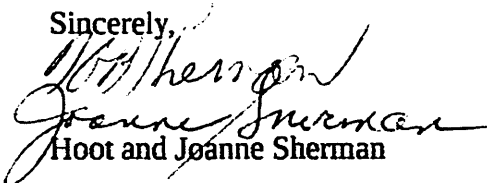
We are writing in support of Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road.

The rehabilitation will make the Manor House accessible to all and provide numerous benefits to our community, including:

- Educational opportunities ranging from primary school field trips to advanced scholarly research
- *Community engagement through programs and activities*
- Creation of jobs during and after the rehabilitation process

We are asking the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone.

Sincerely,



Hoot and Joanne Sherman

J. EDWARD SHILLINGBURG
4 West Neck Road
P.O. Box 3032
Shelter Island Heights, NY 11965

Cell (631) 438-9947

Email: edshill@optonline.net

July 20, 2024

Zoning Board of Appeals
Town of Shelter Island
38 North Ferry Road
PO Box 970
Shelter Island, NY 11964

Dear ZBA Members,

I write to support Sylvester Manor's application for a Special Use Permit for Educational Use for the 1737 Manor House located at 80 North Ferry Road. The organization has served our community well, and the proposed project presents an invaluable opportunity to preserve the Island's most significant heritage asset.

The project promises to make the Manor House accessible to all and provide other benefits to the community:

- Educational opportunities ranging from primary school field trips to advanced scholarly research
- Community engagement through programs and activities
- Jobs during and after the rehabilitation process
- Local economic activity by attracting visitors to Shelter Island

With its vision, expertise, and dedication, I am confident that Sylvester Manor is more than capable of successfully carrying this project to completion.

I ask the ZBA to approve Sylvester Manor's application for a Special Use Permit for Educational Use in the AA Residential Zone, as allowed in the Town Code.

Sincerely,



EXHIBIT “D”



SUFFOLK COUNTY CLERK
RECORDS OFFICE
RECORDING PAGE

Type of Instrument: DEED
Number of Pages: 8
Receipt Number : 14-0089359
TRANSFER TAX NUMBER: 13-30836

Recorded: 07/10/2014
At: 04:11:48 PM
LIBER: D00012780
PAGE: 474

District: 0700 Section: 008.00 Block: 01.00 Lot: 005.010

EXAMINED AND CHARGED AS FOLLOWS

Deed Amount: \$0.00



Received the Following Fees For Above Instrument

| | | Exempt | | | Exempt |
|--------------|---------|--------|-----------|----------|--------|
| Page/Filing | \$40.00 | NO | Handling | \$20.00 | NO |
| COE | \$5.00 | NO | NYS SRCHG | \$15.00 | NO |
| EA-CTY | \$5.00 | NO | EA-STATE | \$125.00 | NO |
| TP-584 | \$5.00 | NO | Notation | \$0.00 | NO |
| Cert.Copies | \$0.00 | NO | RPT | \$60.00 | NO |
| Transfer tax | \$0.00 | NO | Comm.Pres | \$0.00 | NO |
| | | | Fees Paid | \$275.00 | |

TRANSFER TAX NUMBER: 13-30836

THIS PAGE IS A PART OF THE INSTRUMENT
THIS IS NOT A BILL

JUDITH A. PASCALE
County Clerk, Suffolk County

| | | |
|--|---|---|
| <div style="text-align: right; margin-bottom: 10px;"> <div style="border: 1px solid black; padding: 2px; display: inline-block;">1</div> <div style="border: 1px solid black; padding: 2px; display: inline-block;">2</div> </div> <p>Number of pages <u>8</u></p> <p>This document will be public record. Please remove all Social Security Numbers prior to recording.</p> | <p style="text-align: center;">RECORDED 2014 Jul 10 04:11:48 PM JUDITH A. PASCALE CLERK OF SUFFOLK COUNTY L D00012780 P 474 DT# 13-30836</p> | |
| Deed / Mortgage Instrument | Deed / Mortgage Tax Stamp | Recording / Filing Stamps |
| <div style="border: 1px solid black; padding: 5px;"> 3 FEES </div> | | |
| <p>Page / Filing Fee _____</p> <p>Handling <u>20.00</u></p> <p>TP-584 _____</p> <p>Notation _____</p> <p>EA-52 17 (County) _____ Sub Total _____</p> <p>EA-5217 (State) _____</p> <p>R.P.T.S.A. <u>60-</u></p> <p>Comm. of Ed. <u>5.00</u></p> <p>Affidavit _____</p> <p>Certified Copy _____</p> <p>NYS Surcharge <u>15.00</u></p> <p>Other _____</p> <p style="text-align: right;">Sub Total _____</p> <p style="text-align: right;">Grand Total <u>275.00</u></p> <p style="text-align: center;"><i>It-2063</i></p> |  | <p>Mortgage Amt. _____</p> <p>1. Basic Tax _____</p> <p>2. Additional Tax _____</p> <p>Sub Total _____</p> <p>Spec./Assit. _____</p> <p>or _____</p> <p>Spec./Add. _____</p> <p>TOT. MTG. TAX _____</p> <p>Dual Town _____ Dual County _____</p> <p>Held for Appointment _____</p> <p>Transfer Tax <u>0</u></p> <p>Mansion Tax _____</p> <p>The property covered by this mortgage is or will be improved by a one or two family dwelling only.</p> <p>YES _____ or NO _____</p> <p>If NO, see appropriate tax clause on page # _____ of this instrument.</p> <p style="text-align: right;"><i>6-23-14</i></p> |
| <div style="border: 1px solid black; padding: 5px;"> 4 Dist. <u>0700</u> ... <u>008.00</u> Clerk <u>01.00</u> Lot <u>40-005-006</u> </div> <p>Real Property Tax Service Agency Verification</p> <p style="text-align: center;"> 14016851 <div style="border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;"> P T S R DTY A 08-JUL-14 </div> </p> <p style="text-align: center;">0700 00800 0100 005010</p> <p style="text-align: center;"></p> | <div style="border: 1px solid black; padding: 5px;"> 5 Community Preservation Fund </div> <p>Consideration Amount \$ <u>0</u></p> <p>CPF Tax Due \$ <u>0</u></p> <p>Improved <u>X</u></p> <p>Vacant Land _____</p> <p>TD <u>07</u></p> <p>TD _____</p> <p>TD _____</p> | |
| <div style="border: 1px solid black; padding: 5px;"> 6 </div> <p>Satisfactions/Discharge</p> <p style="text-align: center;">RECORD & RETURN TO:</p> <p style="text-align: center;">Wayne D. Bruyn, Esq. O'Shea, Marcincuk & Bruyn, LLP 250 North Sea Road Southampton, NY 11968</p> | <div style="border: 1px solid black; padding: 5px;"> 7 Title Company Information </div> <p>Co. Name <u>Fidelity NATIONAL Title</u></p> <p>Title # <u>13-7404-92887</u></p> | |
| <div style="border: 1px solid black; padding: 10px;"> 8 Suffolk County Recording & Endorsement Page </div> | | |

This page forms part of the attached Bargain & Sale Deed made by: _____ (SPECIFY TYPE OF INSTRUMENT)

Eben Fiske Ostby

The premises herein is situated in
SUFFOLK COUNTY, NEW YORK.

TO

Sylvester Manor Educational Farm, Inc.

In the TOWN of Shelter Island

In the VILLAGE

or HAMLET of _____

BOXES 6 THRU 8 MUST BE TYPED OR PRINTED IN BLACK INK ONLY PRIOR TO RECORDING OR FILING.

(over)

This form conforms to the Standard N.Y.B.T.U. Form 8002 - Bargain and Sale Deed with Covenants Against Grantor's Acts - uniform Acknowledgment (Form 3290-3) - Consult your lawyer before signing this instrument - This instrument should be used by lawyers only.

This indenture, made ^{As of} the 23rd day of June, 2014
Between

✓ **EBEN FISKE OSTBY**, an individual, residing at 8433 Bel View Court, El Cerrito, California 94530-2558, by Power of Appointment under Paragraph #3 of the Last Will & Testament of
✓ **Andrew Fiske**, Late of Suffolk County, having died 08/30/1992, Surrogates Court #1752 P 1992, Party of the First Part, and

SYLVESTER MANOR EDUCATIONAL FARM, INC., a not-for-profit corporation duly organized in the State of New York, having an office at 80 North Ferry Road, P.O. Box 2029, Shelter Island, New York 11964, ✓
Party of the Second Part,

Witnesseth, that the party of the first part, in consideration of TEN (\$10.00) DOLLARS and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Shelter Island, County of Suffolk and State of New York, more particularly bounded and described in Schedule "A" annexed hereto.

✓ **BEING AND INTENDED** to be a portion of the premises as conveyed to the Party of the First Part by Quitclaim Deed dated 11/18/2009, recorded 12/09/2009 in Liber 12609, cp 005 made by Citibank, N.A. (successor in interest to CityBank Farmers Trust Company), a national banking association with its principal office and place of business at 485 Lexington Avenue, New York, New York, a) as sole surviving trustee of an indenture of trust entitled, "Trust for the Benefit of the Occupancy of the Manor," dated March 24, 1949, pursuant to which the "Deed to the Manor" was executed on said date granting to ✓ Andrew Fiske a life estate and limited power of appointment to and over the property referred to therein, which deed was recorded in Liber 2978, cp 494; and b) as co-executor of the Last Will and Testament of the late Andrew Fiske; and Susan R. Woodworth, residing at One Lenox Road, Summit, New Jersey and Elizabeth R. Williamson, residing at 403 St. Ives Drive, Severna Park, Maryland, as co-executors of the Last Will and Testament of the late Andrew Fiske.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center line thereof; **TOGETHER** with all right, title and interest, if any of the appurtenances and all the estate and rights of the party of the first part in and said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

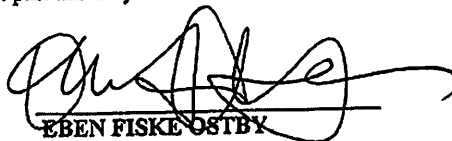
AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the lien law covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this Deed the day and year first above written.

In presence of:

✓

EBEN FISKE OSTBY


State of California)

ss.:

County of Alameda)

On the 18 day of June, in the year 2014, before me, the undersigned, personally appeared EBEN FISKE OSTBY, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual or the person upon behalf of which the individual acted, executed the instrument, and that such individual made such appearance before the undersigned in the City of Emeryville and State of California.




Notary Public
Brynn Mohagen
1931704
4/7/15

**BARGAIN AND SALE DEED
WITH COVENANTS AGAINST GRANTOR'S ACTS**

TITLE NO.: F15-7404-92887-Suff

EBEN FISKE OSTBY

-to-

**SYLVESTER MANOR EDUCATIONAL
FARM, INC.**

DISTRICT: 0700
SECTION: 008.00
BLOCK: 01.00
LOT: p/o 005.006
COUNTY (OR) TOWN: Shelter Island

Record and Return to:

Wayne D. Bruyn, Esq.
O'Shea, Marcincuk & Bruyn, LLP
250 North Sea Road
Southampton, New York 11968

SCHEDULE "A"

ALL that certain plot, piece or parcel of land, together with all of the buildings and improvements thereon erected, situate, lying and being in the Town of Shelter Island, County of Suffolk and State of New York, bounded and described as follows:

BEGINNING at the corner formed by the intersection of the northerly side of Manwaring Road with the westerly side of Manhasset Road;

RUNNING THENCE the following seven (7) courses along the northerly side of Manwaring Road/North Ferry Road, a/k/a Ferry Road (St. Rte. 114):

- 1) North 74 degrees 16 minutes 20 seconds West, 661.18 feet;
- 2) North 81 degrees 43 minutes 20 seconds West, 1,398.18 feet;
- 3) North 83 degrees 27 minutes 50 seconds West, 1,258.10 feet;
- 4) North 67 degrees 17 minutes 50 seconds West, 77.44 feet;
- 5) North 48 degrees 29 minutes 30 seconds West, 67.62 feet;
- 6) North 33 degrees 06 minutes 50 seconds West, 444.32 feet;
- 7) North 64 degrees 53 minutes 35 seconds West, 32.17 feet;

RUNNING THENCE North 24 degrees 50 minutes 00 seconds east, along the land now or formerly of Blue and Dorsey, 462.85 feet to the mean high water mark of Gardiner Creek;

RUNNING THENCE along the mean high water mark of Gardiner Creek along tie lines, North 85 degrees 59 minutes 50 seconds East, 53.53 feet;

RUNNING THENCE North 39 degrees 28 minutes 45 seconds East, 11.36 feet to lands now or formerly of Woodworth.

RUNNING THENCE along lands now or formerly of Woodworth and along lands now or formerly of Eben Fiske Ostby the following five (5) courses and distances:

- 1) South 68 degrees 41 minutes 20 seconds East, 492.33 feet;
- 2) North 21 degrees 18 minutes 40 seconds East, 200.00 feet;
- 3) North 88 degrees 33 minutes 17 seconds East, 506.54 feet;
- 4) North 11 degrees 11 minutes 36 seconds East, 310.99 feet;
- 5) North 33 degrees 24 minutes 19 seconds West, 592.36 feet
on a tie line of Gardiner Creek.

RUNNING THENCE, along tie lines along the mean high water line of Gardiner Creek, the following twelve (12) courses and distances:

- 1) North 60 degrees 45 minutes 15 seconds East, 88.62 feet;
- 2) North 81 degrees 40 minutes 30 seconds East, 317.36 feet;
- 3) North 13 degrees 36 minutes 30 seconds East, 128.63 feet;
- 4) North 77 degrees 22 minutes 30 seconds West, 240.44 feet;

SCHEDULE "A"
(continued)

- 5) North 07 degrees 35 minutes 25 seconds East, 243.72 feet;
- 6) North 49 degrees 55 minutes 45 seconds West, 167.66 feet;
- 7) North 57 degree 57 minutes 45 seconds East, 722.19 feet;
- 8) North 75 degrees 23 minutes 00 seconds West, 243.67 feet;
- 9) North 84 degrees 29 minutes 15 seconds West, 208.02 feet;
- 10) North 27 degrees 37 minutes 55 seconds West, 115.25 feet;
- 11) North 47 degrees 20 minutes 34 seconds East, 200.78 feet;
- 12) North 05 degrees 28 minutes 00 seconds East, 63.52 feet to a point on a non-tangent curve at the southerly line of Winthrop Road.

RUNNING THENCE, easterly, along said curve to the left having a radius of 285.19 feet, a distance of 539.89 feet;

RUNNING THENCE North 05 degrees 26 minutes 10 seconds West, a distance of 7.19 feet to lands now or formerly of Pflum and lands of others;

RUNNING THENCE South 88 degrees 11 minutes 10 seconds East, 762.84 feet;

RUNNING THENCE North 5 degrees 30 minutes 20 seconds East, 8.40 feet;

RUNNING THENCE South 87 degrees 31 minutes 40 seconds East, 530.44 feet;

RUNNING THENCE South 88 degrees 29 minutes 20 seconds East, 400.91 feet;

RUNNING THENCE South 65 degrees 57 minutes 50 seconds East, 13.22 feet;

RUNNING THENCE South 89 degrees 11 minutes 00 seconds East, 269.14 feet to the westerly side of Manhasset Road;

RUNNING THENCE, along the westerly side of Manhasset Road, South 04 degrees 25 minutes 10 seconds East, 8.10 feet;

RUNNING THENCE, still along the westerly side of Manhasset Road, South 01 degrees 18 minutes 50 seconds East, 22.09 feet to lands now or formerly of Sylvester Manor Educational Farm, Inc.;

RUNNING THENCE, along the land now or formerly of Sylvester Manor Educational Farm, Inc. the following ten (10) courses and distances;

- 1) North 88 degrees 08 minutes 33 seconds West, 1506.10 feet;
- 2) South 08 degrees 07 minutes 58 seconds East, 488.49 feet;
- 3) South 01 degree 44 minutes 06 seconds East, 364.91 feet;
- 4) South 03 degrees 09 minutes 43 seconds West, 202.39 feet;

SCHEDULE "A"
(continued)

- 5) South 86 degrees 55 minutes 35 seconds East, 71.89 feet;
- 6) North 08 degrees 37 minutes 45 seconds East, 85.32 feet;
- 7) North 25 degrees 56 minutes 51 seconds East, 93.30 feet;
- 8) North 52 degrees 38 minutes 07 seconds East, 105.01 feet;
- 9) North 72 degrees 01 minutes 27 seconds East, 76.09 feet;
- 10) North 88 degrees 27 minutes 26 seconds East, 1,171.98 feet to the westerly side of Manhasset Road;

RUNNING THENCE South 01 degree 18 minutes 50 seconds East, 50.00 feet, along the westerly side of Manhasset Road, to lands now or formerly of Sylvester Manor Educational Farm, Inc.;

RUNNING THENCE, along other lands now or formerly of Sylvester Manor Educational Farm, Inc., the following fifteen (15) courses and distances:

- 1) South 88 degrees 27 minutes 26 seconds West, 200.00 feet;
- 2) South 01 degree 32 minutes 34 seconds East, 200.25 feet;
- 3) South 88 degrees 27 minutes 26 seconds West, 400 feet; West
- 4) North 01 degree 32 minutes 34 seconds East, 200.25 feet;
- 5) South 88 degrees 27 minutes 26 seconds West, 564.56 feet;
- 6) South 72 degrees 01 minute 27 seconds West, 60.33 feet;
- 7) South 52 degrees 38 minutes 07 seconds West, 84.60 feet;
- 8) South 25 degrees 56 minutes 51 seconds West, 73.83 feet;
- 9) South 08 degrees 37 minutes 45 seconds West, 72.84 feet;
- 10) South 05 degrees 26 minutes 24 seconds East, 561.94 feet;
- 11) South 06 degrees 11 minutes 20 seconds West, 87.79 feet;
- 12) South 12 degrees 49 minutes 12 seconds East, 819.89 feet;
- 13) South 82 degrees 04 minutes 42 seconds East, 146.84 feet;
- 14) South 03 degrees 30 minutes 44 seconds East, 420.62 feet;
- 15) South 76 degrees 32 minutes 57 seconds East, 949.50 feet to the westerly line at Manhasset Road;

RUNNING THENCE South 04 degrees 13 minutes 00 seconds West, 729.04 feet to the point or place of **BEGINNING**.

The above described premises is designated as Suffolk County Tax Map No. 0700-008.00-01.00-p/o 005.006

SCHEDULE "A"
(continued)

EXCEPTING therefrom so much of the above described premises as constitute:

An approximately 80,000 square foot parcel of land formerly known as the "Old Farmhouse Parcel at Sylvester Manor," designated as Suffolk County Tax Map No. 0700-008.00-01.00-005.003, which was conveyed to Elisabeth R. Williamson by deed dated December 13, 1979 and recorded January 7, 1980 in Liber 8757, cp. 454, (hereinafter the "Williamson Property"), **AND SUBJECT TO** an easement of ingress, egress and utilities and a right-of-way twenty-five (25) feet in width from the Williamson Property over the above described premises containing a portion of the existing dirt roads and driveway from North Ferry Road to the Manor House, so called, situated on the above described premises and the driveway leading northerly from said drive to the Williamson Property; provided, however, that the easement and right-of-way shall expire and be of no further force or effect at such time as Andrew Fiske and Citibank, N.A., as trustees under an indenture of trust dated March 24, 1949, or their heirs or assigns or successors in interest, shall, at their expense, provide comparable other lawful access to and utility services for the Williamson Property from a public highway.

TOGETHER WITH:

An easement for all lawful purposes, including of ingress, egress and utilities and a right-of-way twenty-five (25) feet in width in favor of the above described premises over and through the 11.7292 acre parcel of land retained by Eben Fiske Ostby (hereinafter the "Ostby Retained Property"), along and containing the portions of the existing dirt road and driveway crossing over the Ostby Retained Property and connecting to those portions extending from North Ferry Road northerly to the Ostby Retained Property, provided, however, that this easement and right-of-way shall expire and be of no further force or effect at such time as Eben Fiske Ostby, or his heirs or assigns or successors in interest, shall, at their expense, provide comparable other lawful access and utility services for the above described premises across the Ostby Retained Property.

BEING FURTHER SUBJECT TO:

- (a) An easement for all lawful purposes, including of ingress, egress and utilities and a right-of-way twenty-five (25) feet in width in favor of the 11.7292 acre parcel of land retained by Eben Fiske Ostby (hereinafter the "Ostby Retained Property"), over the above described premises containing a portion of the existing dirt roads and driveways from North Ferry Road northerly to the Ostby Retained Property, provided, however, that this easement shall expire and be of no further force or effect at such time as Eben Fiske Ostby, or his heirs or assigns or successors in interest, shall, at their expense, provide comparable other lawful access to and utility services for the Ostby Retained Property from a public highway.

SUFFOLK COUNTY CLERK
RECORDS OFFICE
RECORDING PAGE

Type of Instrument: DEED
Number of Pages: 3
Receipt Number : 22-0117078
TRANSFER TAX NUMBER: 21-41935

Recorded: 07/19/2022
At: 02:14:35 PM
LIBER: D00013165
PAGE: 405

District: 0700 Section: 008.00 Block: 01.00 Lot: 005.003

EXAMINED AND CHARGED AS FOLLOWS

Deed Amount: \$2,200,000.00

Received the Following Fees For Above Instrument

| | | Exempt | | | Exempt |
|--------------|------------|--------|-------------|-------------|--------|
| Page/Filing | \$15.00 | NO | Handling | \$20.00 | NO |
| COE | \$5.00 | NO | NYS SRCHG | \$15.00 | NO |
| EA-CTY | \$5.00 | NO | EA-STATE | \$125.00 | NO |
| TP-584 | \$5.00 | NO | Notation | \$0.00 | NO |
| Cert.Copies | \$0.00 | NO | RPT | \$200.00 | NO |
| Transfer tax | \$8,800.00 | NO | Mansion Tax | \$22,000.00 | NO |
| Comm.Pres | \$0.00 | NO | | | |
| | | | Fees Paid | \$31,190.00 | |

TRANSFER TAX NUMBER: 21-41935


THIS PAGE IS A PART OF THE INSTRUMENT
THIS IS NOT A BILL



JUDITH A. PASCALE
County Clerk, Suffolk County

| | |
|--|--|
| 1 | 2 |
| Number of pages <u>3</u> | |
| This document will be public record. Please remove all Social Security Numbers prior to recording. | RECORDED 2022 JUL 19 02:14:25 PM JUDITH A. PASCALE CLERK OF SUFFOLK COUNTY L. 000017161 P. 435 NYS 21-41975 |

| | | |
|----------------------------|---------------------------|---------------------------|
| Deed / Mortgage Instrument | Deed / Mortgage Tax Stamp | Recording / Filing Stamps |
|----------------------------|---------------------------|---------------------------|

| | |
|---|------|
| 3 | FEES |
|---|------|

| | |
|---|---|
| Page / Filing Fee _____ Handling <u>20.00</u> TP-584 _____ Notation _____ EA-52 17 (County) _____ Sub Total _____ EA-5217(State) _____ R.P.T.S.A. <u>200-</u> Comm. of Ed. <u>5.00</u> Affidavit _____ Certified Copy _____ NYS Surcharge <u>15.00</u> Sub Total _____ Other _____ Grand Total <u>215.00</u> |  Mortgage Amt. _____ 1. Basic Tax _____ 2. Additional Tax _____ Sub Total _____ Spec./Assit. _____ or _____ Spec. /Add _____ TOT. MTG. TAX _____ Dual Town _____ Dual County _____ Held for Appointment _____ Transfer Tax <u>5.00</u> Mansion Tax <u>5.00</u> The property covered by this mortgage is or will be improved by a one or two family dwelling only. YES _____ or NO _____ If NO, see appropriate tax clause on page # _____ of this instrument. |
|---|---|

| | | | | | | |
|--|---------|----------|------------------------|---|---|-----------------------------|
| 4 | Dist. 1 | 22033668 | 0700 00800 0100 005003 | 1.003 | 5 | Community Preservation Fund |
| Real Property Tax Service Agency Verification   | | | | Consideration Amount \$ <u>125,000.00</u> CPF Tax Due \$ <u>2,500.00</u> | | |

| | | |
|---|---|---|
| 6 | Satisfactions/Discharges/Releases List Property Owners Mailing Address RECORD & RETURN TO: Fred W. Thiele, Esq. P.O. Box 1407 Bridgehampton, NY 11932 | Improved <u>1</u> Vacant Land _____ TD <u>0.7</u> TD _____ TD _____ |
|---|---|---|

| | |
|--|--|
| Mail to: Judith A. Pascale, Suffolk County Clerk 310 Center Drive, Riverhead, NY 11901 www.suffolkcountyny.gov/clerk | 7 Title Company Information Co. Name Advantage Title Group Agency, LLC Title # 22-AS-58929 |
|--|--|

| | |
|---|---|
| 8 | Suffolk County Recording & Endorsement Page |
|---|---|

This page forms part of the attached Bargain and Sale Deed with Covenants made by: _____ (SPECIFY TYPE OF INSTRUMENT)

Todd Williamson and David T. Williamson The premises herein is situated in _____ SUFFOLK COUNTY, NEW YORK.

TO _____ In the TOWN of Shelter Island

Sylvester Manor Educational Farm Inc. In the VILLAGE _____ or HAMLET of _____

BOXES 6 THRU 8 MUST BE TYPED OR PRINTED IN BLACK INK ONLY PRIOR TO RECORDING OR FILING.

(over)

ADVANTAGE TITLE

Amended 5-20-2022

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Shelter Island, County of Suffolk and State of New York, being known as the Old Farmhouse Parcel at Sylvester Manor, bounded and described as follows:

BEGINNING at a concrete monument at the Southeasterly corner of the land being described herein, said monument being distant the following three (3) courses and distances from the corner formed by the intersection of the Northerly side of Manwaring Road with the Westerly side of Manhasset Road:

1. Along the Northerly side of Manwaring Road, North 74 degrees 16 minutes 20 seconds West, 661.18 feet;
2. Still along the Northerly side of Manwaring Road, North 81 degrees 48 minutes 15 seconds West, 1,160.95 feet;
3. North 09 degrees 35 minutes 02 seconds East, 1,141.16 feet to the concrete monument at the point or place of beginning;

RUNNING THENCE North 80 degrees 24 minutes 58 seconds West, 282.84 feet to a concrete monument;

THENCE North 09 degrees 35 minutes 02 seconds East, 282.84 feet;

THENCE South 80 degrees 24 minutes 58 seconds East, 282.84 feet;

THENCE South 09 degrees 35 minutes 02 seconds West, 282.84 feet to the concrete monument at the point or place of BEGINNING.

TOGETHER with the benefits and SUBJECT to the burdens of a non-exclusive easement and right of way twenty-five (25) feet in width to and from North Ferry Road, for all lawful purposes including ingress and egress and utilities.

FOR
CONVEYANCING
ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

TITLE # 22-AS-58929

EXHIBIT “E”



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970

Shelter Island, New York 11964

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER: 2022-0150

Date Issued: 03/07/2024

This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.

PO Box 2029

Shelter Island NY 11964

Grid Number: 8.-1-5.10

Property Location: 80 N Ferry Rd

Permit Type: ADD/RENO

Zone: AA

For:

Expand existing retail farm stand by removing existing cooler, creating a concrete slab, L-shaped porch with awning and altering interior layout. Relocate fence. Refrigeration to be relocated in temporary modified container unit as per plans submitted and approved by Building Inspector.

In accordance with Permit # 2022-0150

Issued by the Town of Shelter Island, Dated 03/07/2024

New York State Uniform Fire Prevention and Building Code

Building Inspector, Town of Shelter Island



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
(631) 749-0772

* Certificate of Compliance *

CERTIFICATE NUMBER: 2020-0471

Date Issued: 03/07/2024

This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.

PO Box 2029
Shelter Island NY 11964

Grid Number: 8.-1-5.10
Property Location: 80 N Ferry Rd
Permit Type: MISC. REN.
Zone: AA

For:

Repairs to existing 1810 windmill, including replacing windshaft and sails, repairing internal mechanisms (gears, milling equipment) and repair exterior timber frame, doors windows and shingles as per plans submitted & approved by Building Dept.

In accordance with Permit # 2020-0471

Issued by the Town of Shelter Island, Dated 03/07/2024

New York State Uniform Fire Prevention and Building Code

Building Inspector, Town of Shelter Island



TOWN OF SHELTER ISLAND

38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
(631) 749-0772

BUILDING PERMIT

PERMIT MUST BE KEPT ON PREMISES UNTIL COMPLETION OF THE WORK AUTHORIZED

Permit No: 2023-0688

SEC-BLK-LOT: 8.-1-5.10

Issue Date: 11/20/2023

A permit is hereby given by the Building Department, Town of Shelter Island for the construction described herein:

Install two 30'x96' temporary agricultural structures (High Tunnel greenhouses) located on drawing provided. Special Conditions: Structures are to be used only for agricultural purposes and, as such, will not trigger regulation by The New York State Uniform and Fire Code. Note: Any change of use, however, may trigger requirements of the code. Must follow Shelter Island zoning and general town code restrictions. Approval for temporary structures is good for 180 days and must be renewed at that time, if the structures are not removed. Contractor: Self

Located At: 80 N Ferry Rd

Permit Type: Accessory Structure

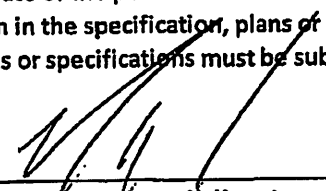
Owner Information

Sylvester Manor Educational Farm Inc.
P.O. Box 2029
Shelter Island NY 11964

| Fee Type | Check No. | Amount |
|-----------|-----------|----------|
| BLDG PMTS | 7093 | \$786.00 |
| Total: | | \$786.00 |

Notes: The Building Inspector must be notified upon the completion of all work. All inspections must be performed before work can continue to the next stage. The holder of this permit is obligated to familiarize themselves with the ordinances under which said permit is granted. Any violation of said ordinances may result in the immediate revocation of the permit. Each and every permit shall expire and become null and void at the expiration of six (6) months from the date of issuance unless the foundation has been built and actual construction of the building under such permit shall have been commenced or unless within such period, an extension of such permit has been duly obtained from the Building Department. All permits will expire after two (2) years with a one (1) year renewal available if the extension is applied for prior to the expiration date of the permit issued.

Permission hereby granted to proceed with the work as set forth in the specification, plans or statements now on file in this Department. Any amendments made to the original plans or specifications must be submitted for approval.


Building Inspector



TOWN OF SHELTER ISLAND
38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
Tel (631) 749-0772

BUILDING PERMIT

PERMIT MUST BE KEPT ON PREMISES UNTIL COMPLETION OF THE WORK AUTHORIZED

Permit No : 2018-0118

SEC-BLK-LOT : 8.-1-5.10

Issue Date : 4/24/2018

A permit is hereby given by the Building Department, Town of Shelter Island for the construction described herein:

Enclose existing farmstand structure as per plans submitted & approved. Special Conditions: No Expansion of Slab on this permit. Contractor: Self

Located At: 80 N Ferry Rd

Permit Type: MISC. REN.

Owner Information

Sylvester Manor Educational Farm, Inc.
PO Box 2029

Shelter Island NY 11964

| Fee Type | Check No. | Amount |
|-----------|-----------|---------|
| BLDG PMTS | 3457 | \$50.00 |
| CO FEE | 3457 | \$15.00 |
| Total: | | \$65.00 |

Notes: The Building Inspector must be notified upon the completion of all work. All inspections must be performed before work can continue to the next stage. The holder of this permit is obligated to familiarize himself/herself with the ordinances under which said permit is granted; Any violation of said ordinances may result in the immediate revocation of the permit. Each and every permit shall expire and become null and void at the expiration of ninety (90) days from the date of issuance unless the foundation has been built and actual construction of the building under such permit shall have been commenced or unless within such period, an extension of such permit has been duly obtained from the Building Inspector/ Zoning Officer.

Permission hereby granted to proceed with the work as set forth in the specification, plans or statements now on file in this Department. Any amendments made to the original plans or specifications must be submitted for approval. Final inspection will not be done until final plumbing and final electrical inspections are done where applicable.


Building Inspector



**TOWN OF SHELTER ISLAND
BUILDING DEPARTMENT**
38 North Ferry Road, P.O. Box 970
Shelter Island, New York 11964
www.shelterislandtown.us

930

Reed Karen: Building Inspector
J. Chris Tehan: Senior Building Inspector

Tel. (631) 749-0772
Fax. (631) 749-9305

Inspection Report

PERMIT #(S) 18-0115

Date: 12/8/20

Inspector: T. Tehan

Owner: Manor Educational Farm

Job Location: 80 N Ferry

Builder: Self

Tax Map # 8-1-5.10

Type of Inspection(s): Final @ farmstead

PASS

FAIL

RETURN INSPECTION REQUIRED

CALL THE OFFICE

Comments/Details: _____

TOWN OF SHELTER ISLAND

38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2016-0153

Date Issued: 7/24/2017

This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.
PO Box 2029
Shelter Island NY 11964

Grid Number: 8.-1.-5.6

Property Location : 80 N Ferry Rd

Permit Type: Generator

Zone: AA-RES

For :

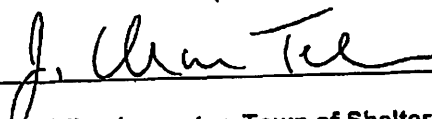
Installation of a generator as per survey.

In accordance with PERMIT # 2016-0153

APPLICATION # 153

Issued by the Town of Shelter Island, Dated 7/24/2017

New York State Uniform Fire Prevention and Building Code



Building Inspector, Town of Shelter Island

TOWN OF SHELTER ISLAND

**38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964**

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2017-0120

Date Issued: 7/19/2017

**This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.
PO Box 2029
Shelter Island NY 11964**

Grid Number: 8.-1-5.10

Property Location : 80 N Ferry Rd

Permit Type: MISC. REN.

Zone: AA-RES

For :

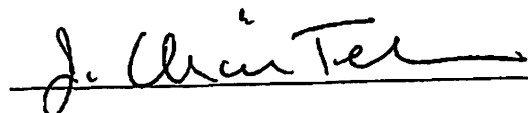
**Construct a single -step platforms at entries to temporary kitchen & restrooms-1. 4' x 12' x 8" &
2nd 4' x 20' x 8". Top of platform 1" below door sills as per drawing submitted. Build/install a shed
at South side to contain the expansion/water tank as per sketch submitted.**

In accordance with PERMIT # 2017-0120

APPLICATION # 120

Issued by the Town of Shelter Island, Dated 7/19/2017

New York State Uniform Fire Prevention and Building Code



Building Inspector, Town of Shelter Island

TOWN OF SHELTER ISLAND

**38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964**

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2016-0363

Date Issued: 7/19/2017

**This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.
PO Box 2029
Shelter Island NY 11964**

Grid Number: 8.-1.-5.6

Property Location : 80 N Ferry Rd

Permit Type: MISC. REN.

Zone: AA-RES

For :

Installation of pre-fab kitchen & bath house for seasonal use-April through October, connected to new County & State funded pilot alternative gravel recirculating vegetative wastewater treatment system. Special Conditions: As per terms & conditions of SCDHS permit C07-15-0001 sheets 1-7 April thru October occupancy only as per letter from Westervelt & Rea dated 5-11-16.

In accordance with PERMIT # 2016-0363

APPLICATION # 363

Issued by the Town of Shelter Island, Dated 7/19/2017

New York State Uniform Fire Prevention and Building Code


Building Inspector, Town of Shelter Island

TOWN OF SHELTER ISLAND

**38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964**

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2014-0096

Date Issued: 12/23/2015

This certificate is hereby granted to: Ostby, Eben F.

PO Box 2029

Shelter Island

NY 11964

Grid Number: 8.-1.-5.6

Property Location : 80 N Ferry Rd

Permit Type: Garage

Zone: AA-RES

For :

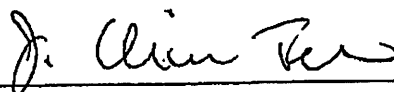
Construct a garage to be built on the far north east corner of the lot, @ 50'x100' as per survey and plans submitted & approved by bldg. dept.

In accordance with PERMIT # 2014-0096

APPLICATION # 96

Issued by the Town of Shelter Island, Dated 12/23/2015

New York State Uniform Fire Prevention and Building Code



Building Inspector, Town of Shelter Island

TOWN OF SHELTER ISLAND

**38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964**

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2015-0052

Date Issued: 12/23/2015

This certificate is hereby granted to: Sylvester Manor Educational Farm, Inc.
PO Box 2029
Shelter Island NY 11964

Grid Number: 8.-1.-5.6

Property Location : 80 N Ferry Rd

Permit Type: MISC. REN.

Zone: AA-RES

For :

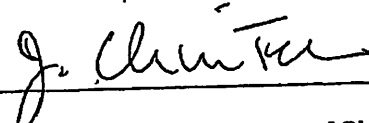
Renovations to include changing kitchen cabinets & appliances, new bathroom fixtures and new tiling, replace 6-8 windows in place in kind, move two closets raising ceiling in kitchen and dining area, repair siding where needed, instulate and repair sheetrock as needed in existing dwelling.

In accordance with PERMIT # 2015-0052

APPLICATION # 52

Issued by the Town of Shelter Island, Dated 12/23/2015

New York State Uniform Fire Prevention and Building Code



Building Inspector, Town of Shelter Island

TOWN OF SHELTER ISLAND

**38 N. FERRY ROAD PO BOX 970
SHELTER ISLAND, NY 11964**

(631) 749-0772

*** Certificate of Occupancy ***

CERTIFICATE NUMBER : 2010-0064

Date Issued: 12/4/2012

This certificate is hereby granted to: Ostbey, Eben F.

8433 Bel View Court

El Cerrito

CA 94530-25

Grid Number: 8.-1-5.2

Property Location : 80 N Ferry Rd

Permit Type: SHED

Zone: B-BUS

For :

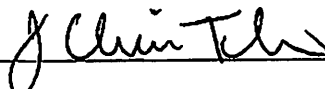
Construct shed 20'x25' as per drawing submitted.

In accordance with PERMIT # 2010-0064

APPLICATION # 64

Issued by the Town of Shelter Island, Dated 12/4/2012

New York State Uniform Fire Prevention and Building Code



Building Inspector, Town of Shelter Island



TOWN OF SHELTER ISLAND
38 North Ferry Road, P.O. Box 970
Shelter Island
New York 11964

William W. Banks: Building Inspector & Zoning Officer
Mary C. Wilson: Building & Zoning Clerk

Tel (631) 749-0772
Fax (631) 749-9305

**BUILDING DEPARTMENT
CERTIFICATE OF OCCUPANCY**

Date: January 17, 2003

THIS CERTIFIES that the building located on the west side of Manhasset Road, distant +/- 565 feet south of the intersection of Cobbetts Lane, in the Town of Shelter Island, New York and designated as Suffolk County Tax Map #0700/008/01/05.2 conforms with the application and Permit No. 6166 dated November 19, 2001 on file in this office and complies with the requirements of the Zoning Ordinance of the Town of Shelter Island, New York.

Zone: AA - Residential

Occupancy: Addition to existing east cottage..

**This certificate issued to: Mrs. Alice Fiske
80 North Ferry Road
Shelter Island, NY**

No. 5929

William W. Banks (id)

**William W. Banks,
Building Inspector**

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$.9,500.00 Date ..January.2 1980..

THIS CERTIFIES that the building located on the ..North.... side
of North Ferry Road distant .0..... feet West.....
from the intersection of ..Manwaring Road..... in the
Town of SHELTER ISLAND, N.Y., and designated as Suffolk County Tax Map
.....0700/008/01/005..... conforms with the application and
PERMIT NO. ..1792.... Date Nov..27..... 1979.. on file in this office
and complies with the requirements of the ZONING ORDINANCE of the Town
of Shelter Island, New York.

ZONE ..AA..... OCCUPANCYBarn.....

This certificate issued to Andrew Fiske
OWNER

of the aforesaid building. Address...80 North Ferry Road.....
..... Shelter Island, N.Y. 11964

By Order Town Board
Town of Shelter Island

No.1322.....

..... Louis H. Price
BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$...11,185.00..... Date.....May 19..... 1976.

THIS CERTIFIES that the building located on the.....~~East~~.....side
of.....~~North Ferry Road~~..... distant.....775.....feet
from the intersection of.....~~North Ferry Road~~.....
and.....~~West Neck Road~~..... in the Town
of.....~~Shelter Island~~..... N. Y., and designated as
Lot (s)....~~0700-008-01-005~~..... Block.....
Map of0700/007/06/01.....
conforms to the application and PERMIT NO....1308.... Date..August 22...19..75..
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

ZONE.....AA.....OCCUPANCY...Dwelling.....

This certificate issued to ..Andrew Fiske.....
OWNER

of the aforesaid building. Address 80 N. Ferry Rd. Shelter Island, 11964.....

By Order Town Board
Town of Shelter Island

No.....1062.....

Louis H. Price
BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$ 2,000.00 Date December 13 1974

THIS CERTIFIES that the building located on the North side
of North Ferry Road distant XX feet
from the intersection of North Ferry Road
and Manwaring Road in the Town
of Shelter Island N. Y., and designated as
Lot (s) 008-01-005. 2 Block
Map of

conforms to the application and PERMIT NO. 1180 Date May 29th. 1974
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

ZONE AA OCCUPANCY Addition

This certificate issued to Andrew Flake
OWNER

of the aforesaid building. Address 60 North Ferry Road

By Order Town Board
Town of Shelter Island

No. 930

Louis H. Price
BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$ 8,000.00 Date February 5 19 74

THIS CERTIFIES that the building located on the North side
of North Ferry Road distant 1,550 plus feet
from the intersection of North Ferry Road
and Manwaring Road in the Town
of Shelter Island N. Y., and designated as
Lot (s) 008/01/005 Block
Map of
conforms to the application and PERMIT NO. 1043 Date June 18 1973
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

ZONE AA OCCUPANCY Dwelling

This certificate issued to Andrew Flaks
OWNER

of the aforesaid building. Address 80 North Ferry Road, Shelter Island

By Order Town Board
Town of Shelter Island

No. 856

Louis H. Puccio
BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$4,500.00..... Date.....October 31..... 1973..

THIS CERTIFIES that the building located on the...North.....side
ofA. Private Road..... distant...1,555.....feet
from the intersection ofManwaring Road.....
and.....North Ferry Road..... in the Town
of.....Shelter Island..... N. Y., and designated as
Lot (s).....008/01/005..... Block.....
Map of
conforms to the application and PERMIT NO....1059..... Date Aug. 8..... 1973..
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

ZONE...AA.....OCCUPANCY.....Dwelling.....

This certificate issued to ...Andrew Fiske.....
OWNER

of the aforesaid building. Address ..80 North Ferry Road, Shelter Island, N.Y.

By Order Town Board
Town of Shelter Island

No....329.....

Louis H. Price.....
BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$ 400.00..... Date..... October 17th..... 1972..

THIS CERTIFIES that the building located on the.....North.....side
ofManwaring Road..... distant...1,000'plus...feet
from the intersection ofManhasset Road.....
and.....Manwaring Road..... in the Town
of.....Shelter Island..... N. Y., and designated as
Lot (s)..... Block.....
Map of
conforms to the application and PERMIT NO.....928..... Date.....Sept. 9th.. 1972..
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

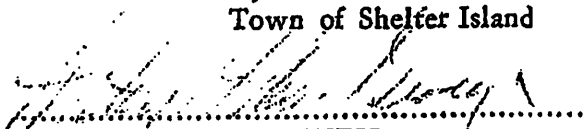
ZONE.....R.....OCCUPANCY.....Book Shop.....

This certificate issued toAndrew Fiske.....
OWNER

of the aforesaid building. Address ..Manwaring Road,..Shelter Island,..N.Y..

By Order Town Board
Town of Shelter Island

No.....725.....


BUILDING INSPECTOR

BUILDING DEPARTMENT

CERTIFICATE OF OCCUPANCY

TOWN of SHELTER ISLAND

Suffolk County, New York

Cost \$.....\$50.00..... Date....July 22..... 19 64

THIS CERTIFIES that the building located on the.....north.....side
ofMain Road..... distant.....feet
from the intersection of
and..... in the Town
of.....Shelter Island..... N. Y., and designated as
Lot (s)..... Block.....
Map of
conforms to the application and PERMIT NO.....17..... Date....April 30 1964
on file in this office and complies with the requirements of the ZONING ORDI-
NANCE of the Town of Shelter Island, New York

ZONE.....A.....OCCUPANCY.....Cubana.....

This certificate issued toAndrew Fiske
OWNER

of the aforesaid building. AddressShelter Island.....

By Order Town Board
Town of Shelter Island

No.....24.....

Andrew Fiske
BUILDING INSPECTOR

EXHIBIT “F”

Violations

700-8.-1-5.5

TOWN OF SHELTER ISLAND
DEPARTMENT OF CODE ENFORCEMENT

APPEARANCE TICKET

C.P.L. 150.10

1018

| | | |
|---|-----------|--------------|
| To: <u>SYLVESTER MANOR EDUCATIONAL FARM INC</u> | | |
| LAST NAME | FIRST | INITIAL |
| <u>80 N. FERRY ROAD</u> | | |
| STREET ADDRESS | | |
| <u>SHELTER ISLAND</u> | <u>NY</u> | <u>11964</u> |
| TOWN | STATE | ZIP |
| <u>P.O. BOX 2029</u> | | |
| MAILING ADDRESS | | |
| <u>SHELTER ISLAND</u> | <u>NY</u> | <u>11964</u> |
| TOWN | STATE | ZIP |

YOU ARE HEREBY NOTIFIED TO APPEAR PERSONALLY IN THE
JUSTICE COURT of the TOWN OF SHELTER ISLAND
46 North Ferry Road
Shelter Island, N.Y. 11964

ON MONDAY, SEPT. 23, 2024 AT 9:30 AM-PM

TO ANSWER A CHARGE OF MULTIPLE CODE
VIOLATIONS

AN OFFENSE COMMITTED IN TOWN OF SHELTER ISLAND, NEW YORK

ON THE 24 DAY OF AUGUST, 20 24 AT 5:19 AM-PM

IN VIOLATION OF SECTION MULTIPLE SUBDIVISION MULTIPLE

OF THE TOWN CODE LAW OF THE STATE OF NEW YORK

ISSUED THIS _____ DAY OF _____, 20 _____

A. J. C. O.
Building Official Signature

NOTICE: UPON YOUR FAILURE TO APPEAR AS DIRECTED ABOVE, A CRIMINAL SUMMONS OR A WARRANT FOR YOUR ARREST MAY BE ISSUED.

Green Copy-Served Pink Copy-Office Yellow Copy-Court Blue Copy-Town Attorney

TOWN OF SHELTER ISLAND
DEPARTMENT OF CODE ENFORCEMENT

APPEARANCE TICKET

C.P.L. 150.10

1024

5.5

| | | |
|--|-------|---------|
| To: SYLVESTER IMMORER ELECTIONAL FIRM INC. | | |
| LAST NAME | FIRST | INITIAL |
| 80 N. FERRY ROAD | | |
| STREET ADDRESS | | |
| SHELTER ISLAND | NY | 11964 |
| TOWN | STATE | ZIP |
| P.O. BOX 2029 | | |
| MAILING ADDRESS | | |
| SHELTER ISLAND | NY | 11964 |
| TOWN | STATE | ZIP |

YOU ARE HEREBY NOTIFIED TO APPEAR PERSONALLY IN THE
JUSTICE COURT of the TOWN OF SHELTER ISLAND
46 North Ferry Road
Shelter Island, N.Y. 11964

ON MONDAY, JULY 8th, 20 24 AT 7:30 AM-PM

TO ANSWER A CHARGE OF NO SPECIAL PERMIT FOR AN
EDUCATIONAL INSTITUTION IN THE MAZON.

AN OFFENSE COMMITTED IN TOWN OF SHELTER ISLAND, NEW YORK

ON THE 22nd DAY OF APRIL, 20 24 AT 5:40 AM-PM

IN VIOLATION OF SECTION 133 SUBDIVISION 7D(2)

OF THE _____ LAW OF THE STATE OF NEW YORK

ISSUED THIS _____ DAY OF _____, 20 _____

[Signature]
Building Official Signature

NOTICE: UPON YOUR FAILURE TO APPEAR AS DIRECTED ABOVE, A CRIMINAL SUMMONS OR A WARRANT FOR YOUR ARREST MAY BE ISSUED.

Green Copy-Served

Pink Copy-Office

Yellow Copy-Court

Blue Copy-Town Attorney

8-1-5.3

TOWN OF SHELTER ISLAND
DEPARTMENT OF CODE ENFORCEMENT

APPEARANCE TICKET

C.P.L. 150.10

1025

To: SYLVESTER MANOR EDUCATIONAL FARM INC.
LAST NAME FIRST INITIAL

82 N. FERRY ROAD
STREET ADDRESS

SHELTER ISLAND NY 11964
TOWN STATE ZIP

P.O. BOX 2029
MAILING ADDRESS

SHELTER ISLAND NY 11964
TOWN STATE ZIP

YOU ARE HEREBY NOTIFIED TO APPEAR PERSONALLY IN THE
JUSTICE COURT of the TOWN OF SHELTER ISLAND
46 North Ferry Road
Shelter Island, N.Y. 11964

ON MONDAY, JULY 8th, 20 24 AT 9:30 (AM-PM)
TO ANSWER A CHARGE OF NO SPECIAL EVENT PERMIT FOR
AN EDUCATIONAL INSTITUTION IN THE AA ZONE.
AN OFFENSE COMMITTED IN TOWN OF SHELTER ISLAND, NEW YORK
ON THE 22nd DAY OF MAY, 20 24 AT 3:30 AM-PM
IN VIOLATION OF SECTION 133 SUBDIVISION 7D(2)
OF THE TOWN CODE LAW OF THE STATE OF NEW YORK
ISSUED THIS _____ DAY OF _____, 20 24
[Signature]
Building Official Signature

NOTICE: UPON YOUR FAILURE TO APPEAR AS DIRECTED ABOVE, A CRIMINAL SUMMONS OR A WARRANT FOR YOUR ARREST MAY BE ISSUED.

Green Copy-Served

Pink Copy-Office

Yellow Copy - Court

Blue Copy-Town Attorney

8-1-5.5

TOWN OF SHELTER ISLAND
DEPARTMENT OF CODE ENFORCEMENT

APPEARANCE TICKET

C.P.L. 150.10

1024

To: SYLVESTER MANOR EDUCATIONAL FARM INC.
LAST NAME FIRST INITIAL

80 N. FERRY ROAD
STREET ADDRESS

SHELTER ISLAND NY 11964
TOWN STATE ZIP

P.O. BOX 2029
MAILING ADDRESS

SHELTER ISLAND NY 11964
TOWN STATE ZIP

YOU ARE HEREBY NOTIFIED TO APPEAR PERSONALLY IN THE
JUSTICE COURT of the TOWN OF SHELTER ISLAND
46 North Ferry Road
Shelter Island, N.Y. 11964

ON MONDAY, JULY 8th, 20 24 AT 9:30 (AM-PM)
TO ANSWER A CHARGE OF NO SPECIAL PERMIT FOR AN
EDUCATIONAL INSTITUTION IN THE AA ZONE.
AN OFFENSE COMMITTED IN TOWN OF SHELTER ISLAND, NEW YORK
ON THE 22nd DAY OF APRIL, 20 24 AT 5:40 AM-PM
IN VIOLATION OF SECTION 133 SUBDIVISION 7D(2)
OF THE _____ LAW OF THE STATE OF NEW YORK
ISSUED THIS _____ DAY OF _____, 20 _____
[Signature]
Building Official Signature

NOTICE: UPON YOUR FAILURE TO APPEAR AS DIRECTED ABOVE, A CRIMINAL SUMMONS OR A WARRANT FOR YOUR ARREST MAY BE ISSUED.

Green Copy-Served

Pink Copy-Office

Yellow Copy - Court

Blue Copy-Town Attorney

EXHIBIT “G”

EXHIBIT "G"

SPECIAL PERMIT

Dated: January 31, 2025

The Applicant satisfies the criteria for Special Permit issuance set forth in Town Code Section 133-35 (determinations by the Zoning Board of Appeals or Town Board)

Consideration is given to the following factors in turn:

A. General Suitability:

- 1. That the use will be in harmony with and promote the general purposes, intent and spirit of this chapter.*
- 2. That the use will encourage the most appropriate uses of land and not be detrimental to surrounding property values.*
- 3. That the safety, health, welfare, comfort, convenience or the order of the Town will not be adversely affected by the proposed use and its location.*
- 4. That the use, or the structure to be used therefor, will not cause an overcrowding of land or undue concentration of population.*

The proposed uses are in harmony with and will continue to promote the general purposes of the Town Code. They will preserve important archaeological and cultural resources linking the Town's history and will protect Shelter Island's special character. The variety of uses on this unique property will not be detrimental to surrounding property values and the Town as a whole, and these values will not be adversely affected by the proposed uses and the property's location. Sylvester Manor contains multiple dwellings, namely the 1737 Manor House which is subject, in part, of this application, and which was the impetus for the original filing. Portions of the property are also used for agricultural and cultural programming. There will be no overcrowding of land or undue concentration of population.

B. Location:

- 1. That the site is particularly suitable for the location of such use in the Town.*
- 2. That the proposal is harmonious with the character of the existing and probable development of uses in the vicinity, and that such vicinity is particularly suitable for the location of the proposed use.*
- 3. That no substantial hazard to life, limb or property because of fire, flood, erosion or public panic is likely to be created by reason of or as a result of the use, or by the structures thereon for the convenient entry and operation of fire and other emergency apparatus, or by the undue concentration or assemblage of persons upon such plot.*
- 4. That the proposed use is not unreasonably near to a church, school, theater, recreational area or other place of public assembly.*

5. *That the proposed use will not prevent the orderly and reasonable use of permitted or legally established uses in the district wherein the proposed use is to be located or of permitted or legally established uses in adjacent districts.*

The Manor House falls within the AA Residential District, with zoning allowances for low density residential development in coastal environments. Tax lot 5.10, consisting of about 138 acres, straddles the B zone with zoning allowances for mixed business uses, including residential, business, retail and other services for Island residents and visitors. Notably, Sylvester Manor is unique and doesn't neatly fit within one definition or zoning district. While the nonprofit engages in cultural and educational programs, it is not a traditional "educational institution" as set forth in the Code. Nevertheless, many of its uses are "of the same general character" and should be permitted under Section 133-7(D)(5). For example, the Manor House serves not only as a site of historic interpretation, but also as a center for educational, cultural and research activities on the property, provides accommodations for visiting artists, scholars and guests (not the general public), and includes offices for staff. In addition, much of the Sylvester Manor property is used for related educational, archeological and cultural research, special events, and similar programs which are an important resource for the entire community as well as visitors.

Sylvester Manor contains other residences such as Wissemann Cottage, and the Old Farmhouse, and the property as a whole includes the potential for future residential and commercial development. Thus, the property has a number of residential uses, which are permitted in the AA Zone. Portions of the Sylvester Manor property are also used for agriculture, and more than half has been protected in perpetuity through deeds of development rights or other conservation instruments.

With respect to agriculture, accessory uses include but are not limited to: agricultural structures such as the Benjamin Glover Barn, Engine Barn, Furnace House, Garden Shed, Long Barn, Privy, Pump House, Small Barn, The Hive, and The Pole Barn, agricultural equipment as defined by NYS Executive Law §372, a seasonal farm stand, educational and cultural programs related to farming, offices, special events, and recreation including but not limited to trails and water access.

The hybrid of uses does not pose any threat to the public and is not unreasonably near to a church, school, theater, recreational area, or other place of public assembly. The purpose of the applications is to request the Town to recognize the residential and agricultural uses and those uses customarily incidental and accessory to them, while also granting a special permit for those uses of the same general character as an educational institution.

C. Public Services:

1. *That access facilities are adequate for the estimated traffic from public streets and sidewalks, so as to assure the public safety and avoid traffic congestion.*

2. *That the operations in pursuance of the proposed use will not cause undue interference with the orderly enjoyment by the public of parking or of recreational facilities, if existing or if proposed by the Town or by other competent governmental agencies.*

Access for the public is not changing and the exterior and interior improvements will not impact traffic flow. Public safety and traffic congestion will be maintained. Likewise, the proposed uses will not cause undue interference with the orderly enjoyment by the public of parking or recreational facilities existing or proposed by the Town.

D. Environmental concerns:

1. *That adequate and proper public or private facilities will be available for the treatment, removal or discharge of sewage, refuse or other effluent (whether liquid, solid, gaseous or otherwise) that may be caused or created by or as a result of the proposed use.*
2. *That the proposed use, or materials incidental thereto or produced thereby, will not give off noxious gases, odors, smoke or soot.*
3. *That the proposed use will not cause intrusive emissions of electrical discharges, dust, light, vibration or noise.*
4. *That the proposed use will not have a significant negative impact on the aquifer and open space and other important natural resources, including but not limited to wetlands, wildlife habitats or species listed as endangered, threatened or of special concern to the Town or the NYS Natural Heritage Program, or on historic or archaeological resources identified in the Comprehensive Plan, a document referred to therein or in the "Final Generic Environmental Impact Statement: Shelter Island Comprehensive Plan."*

Rehabilitation of the exterior and interior spaces of the Manor House include upgrading mechanical, plumbing, electric, and fire detection and suppression systems. The conventional septic tank sanitary system will be improved with an IA Treatment Tank. There will be no noxious gases, odors, smoke or soot involved with the project and no intrusive emissions of electrical discharges, dust, light, vibration and noise. There will be no detriment to the aquifer and open space and other natural resources as part of the project. The project was awarded the NYS EPF Parks and Historic Preservation and National Park Service Save America's Treasures grants. The project is also subject to review by the NYS Historic Preservation Office and will be subject to a 25 year NYS Preservation Covenant. The property is also located in Suffolk County NY Ag District 1.

The Manor House rehabilitation poses no adverse environmental impacts, and the plans comport with the New York's All Electric Initiative and Shelter Island's innovative, advanced on site wastewater treatment system goals.

E. Site development:

- 1. That the plot area is sufficient, appropriate and adequate for the proposed use and its reasonable anticipated operation and expansion thereof.*
- 2. That there is adequate off-street parking for employees or visitors and, further, that the layout of the spaces is convenient and conducive to safe operation.*
- 3. That adequate buffer yards and screening are provided where necessary to protect adjacent properties and land uses.*

The plot area is sufficient in size, consisting of 236 acres in total. Unique to Sylvester Manor, the uses on the property consist of a hybrid of agricultural, cultural, archeological, educational, residential and recreational. There is adequate off-street parking and the spaces are convenient and conducive for safe operation. The property is screened by plantings and natural vegetation that separates the parcel from the road. The structures comply with all setback requirements.

Conclusion

In sum, we ask the Town to recognize the as of right uses and to issue a Special Permit to include the following uses: agricultural, farming, historic interpretation, educational and cultural programming, research, residential, business, archaeological and recreational.

EXHIBIT “H”

Short Environmental Assessment Form

Part 1 - Project Information

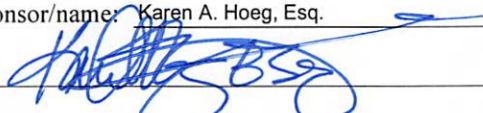
Instructions for Completing

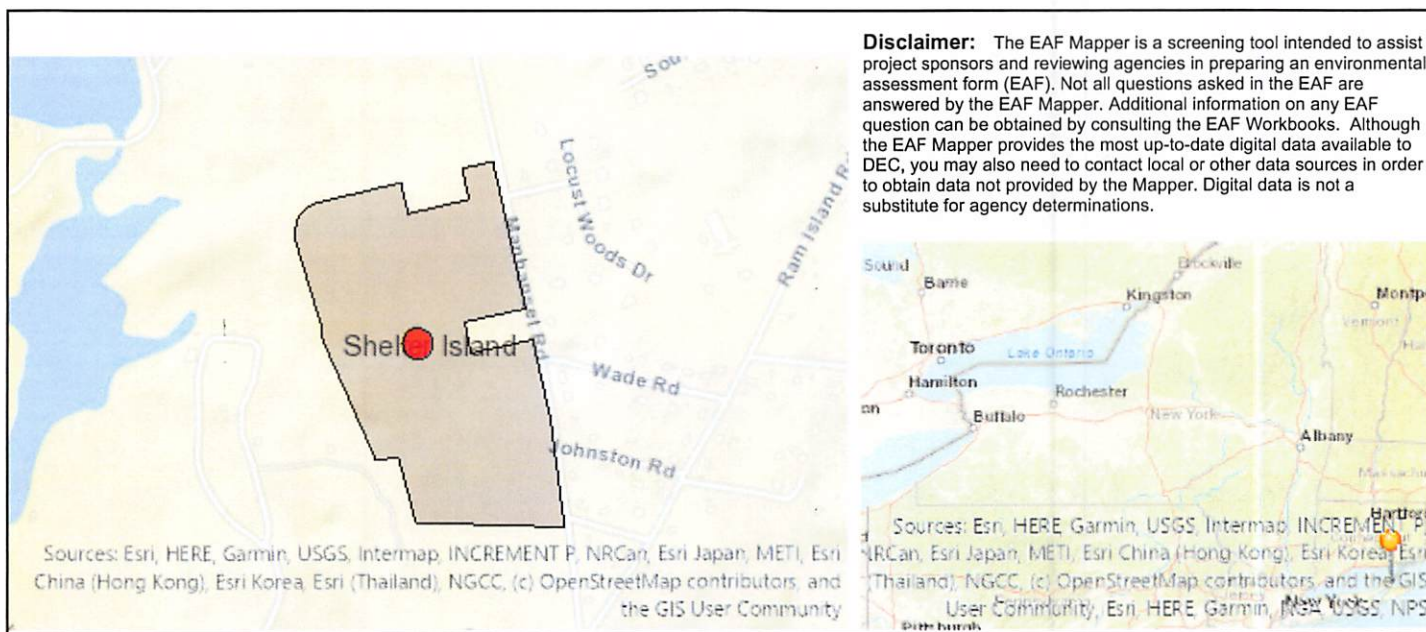
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|---|--|---|--|
| Part 1 – Project and Sponsor Information | | | |
| Name of Action or Project: SYLVESTER MANOR EDUCATIONAL FARM, INC. | | | |
| Project Location (describe, and attach a location map): 80 NORTH FERRY ROAD, SHELTER ISLAND, NY 11964 | | | |
| Brief Description of Proposed Action: Exterior rehabilitation and interior reuse of the Manor House including asbestos abatement, removal of 1960's addition, upgrades to mechanical, electrical, plumbing and fire detection and suppression systems; replacement of existing sanitary with IA system and additional interior and exterior renovations | | | |
| Name of Applicant or Sponsor: SYLVESTER MANOR EDUCATIONAL FARM, INC. dba SY | | Telephone: 631-749-0626 E-Mail: ssear@sylvestermanor.org | |
| Address: P.O. BOX 2029; 80 NORTH FERRY ROAD | | | |
| City/PO: SHELTER ISLAND | | State: NY | Zip Code: 11964 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC, TOWN BOARD- SITE PLAN; SCDHS, TOWN ZBA -SPECIAL PERMIT | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | 236 acres .5 acres 236 acres | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | |
| 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland | | | |

| | | | |
|---|---|---|---|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan? | NO <input type="checkbox"/> <input type="checkbox"/> | YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ PRIVATE WATER SUPPLY | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO <input type="checkbox"/> <input type="checkbox"/> | YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | NO <input type="checkbox"/> <input checked="" type="checkbox"/> | YES <input checked="" type="checkbox"/> <input type="checkbox"/> | |

| | | |
|---|-------------------------------------|-------------------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat | NO | YES |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| a. Will storm water discharges flow to adjacent properties? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| _____ | | |
| _____ | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| _____ | | |
| _____ | | |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| _____ | | |
| _____ | | |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| _____ | | |
| _____ | | |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor/name: <u>Karen A. Hoeg, Esq.</u> Date: <u>January 31, 2025</u> | | |
| Signature: <u></u> Title: <u>Attorney</u> | | |



| | |
|---|---|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | Yes |
| Part 1 / Question 12b [Archeological Sites] | Yes |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal] | Yes |
| Part 1 / Question 15 [Threatened or Endangered Animal - Name] | Northern Long-eared Bat |
| Part 1 / Question 16 [100 Year Flood Plain] | No |
| Part 1 / Question 20 [Remediation Site] | No |

EXHIBIT “I”

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 1
SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790
P: (631) 444-0365 | F: (631) 444-0360
www.dec.ny.gov

**LETTER OF NO JURISDICTION: TIDAL WETLANDS ACT & NOTIFICATION OF
POSSIBLE ENDANGERED SPECIES ACT JURISDICTION**

April 29, 2024

Sylvester Manor Educational Farm, Inc.
P.O. Box 2029
Shelter Island, NY 11964

Re: Application #1-4732-01036/00002
Sylvester Manor Facility: 80 North Ferry Road, Shelter Island, NY 11964
SCTM# 70-08-01-05.10

Dear applicant:

Based on the information you submitted, the Department of Environmental Conservation has determined that your proposed project, to renovate the existing "Manor House" establishment as shown on page C-2 of the plans prepared by Drew B. Bennett last revised April 10, 2024, is located landward of the 10' (MSL) elevation contour on a gradual natural slope as shown on the survey prepared by F. Michael Hemmer, LS, P.C., last revised January 31, 2024. Therefore, in accordance with current Tidal Wetlands Land Use Regulations (6NYCRR Part 661), no permit is required under the Tidal Wetlands Act.

Be advised, no construction, sedimentation, or disturbance of any kind may take place seaward of the tidal wetlands jurisdictional boundary, as indicated above, without a permit. It is your responsibility to ensure that all precautions are taken to prevent any sedimentation or disturbance within Article 25 jurisdiction which may result from your project. Such precautions may include maintaining adequate work area between the jurisdictional boundary and your project (i.e. a 15' wide construction area) or erecting a temporary fence, barrier, or hay bale berm.

Please be advised that DEC has documented the summer occurrence of the Northern Long Eared Bat (NLEB) (*Myotis septentrionalis*), a species listed as "endangered" by both New York State and the US Fish & Wildlife Service, within 3 miles of the project location. We have determined that tree cutting at this location between March 1 and November 30 of any calendar year may result in the "take" of these endangered/threatened species or their habitat within the meaning of Environmental Conservation Law (ECL) §11-535. The term "take" is defined in part as the direct killing or injury of individual members of a protected species, interference with critical breeding, foraging, migratory or other essential behaviors, or the adverse modification of the species' habitat. The "take" of a species listed as endangered or



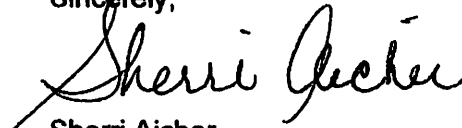
Department of
Environmental
Conservation

pursuant to ECL §11-535. In order to avoid an Endangered Species "take," no tree cutting activities may be conducted at the project site between the dates of March 1 and November 30 of any calendar year. If you have questions about the presence of protected species on or near your property, the potential effects of activities on these species or your responsibilities as a landowner or project sponsor under the Endangered Species Regulations, please contact the Regional Wildlife Manager at (631) 444-0310.

This letter shall remain valid unless site conditions change.

Please note that this letter does not relieve you of the responsibility of obtaining any necessary permits or approvals from other agencies or local municipalities.

Sincerely,

A handwritten signature in black ink, appearing to read "Sherri Aicher". The signature is fluid and cursive, with a large initial "S" and a stylized "A".

Sherri Aicher
Regional Permit Administrator

cc: Sarah Gordon
BMHP
File

A large, two-story yellow house with white columns and shutters, surrounded by green lawns and trees. The house features a dark roof with three prominent brick chimneys. The front facade is adorned with white columns supporting a small portico over the entrance. The house is set on a well-manicured green lawn, with a gravel driveway leading to the right. Mature trees with green foliage surround the property, and a large tree trunk is visible on the far left.

**ARCHITECTURAL
PRESERVATION
STUDIO, DPC**

Architecture, Historic Preservation, & Building Envelope Consulting
504 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

**OLA ENGINEERS, PC
(MEP/FP CONSULTANT)**
50 BROADWAY
HAWTHORNE, NY 10532

**A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)**
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

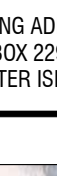
**JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)**
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

**METROPOLIS GROUP, INC.
(CODE CONSULTANT)**
22 CORTLAND STREET, #10
NEW YORK, NY 10007

**JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)**
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

**BOA LIGHT DESIGN
(LIGHTING CONSULTANT)**
FR: 76 RUE DE FONTENAY 94300 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

**F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)**
3330 NOVAC ROAD, PO BOX 1328
SCAG HARBOR, NY 11963




SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

CLIENT / OWNER

LOCATION PLAN NTS



| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYSCA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NUMBER

GENERAL NOTES, STATEMENT OF SIGNIFICANCE, SHPO REQUIREMENTS, DRAWING LIST, REMOVAL NOTES, ABATEMENT GENERAL NOTES, LEAD-BASED PAINT NOTES, ABBREVIATIONS, SYMBOLS, MATERIALS LEGEND, PLOT PLAN, ZONING INFORMATION

DATE: 06.01.2023

APS PROJECT NO.: 23-037

SCALE: AS NOTED

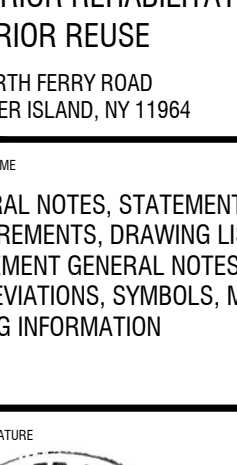
DRAWING BY: MT, DT

CHECKED BY: PJ, DE, SG

DWG NO.: **T-001.00**

DWG COUNT: 1 OF ##

SEAL & SIGNATURE



REGISTRATION EXPIRATION DATE: 11/30/2028

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

01

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND SUPERVISION NECESSARY FOR THE SUCCESSFUL COMPLETION OF THE PROJECT. THE WORK INCLUDES, BUT IS NOT LIMITED, TO THE FOLLOWING:

1. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED MOBILIZATION, GENERAL ADMINISTRATIVE REQUIREMENTS DURING CONSTRUCTION, REMEDIATION AFTER THE PROJECT HAS BEEN DETERMINED TO BE COMPLETE, AND PROJECT CLOSEOUT REQUIREMENTS.

2. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY PROTECTION MEASURES TO ENSURE THAT SYLVESTER MANOR EDUCATIONAL FARM MANOR HOUSE IS WATERTIGHT AT ALL TIMES.

3. THE BUILDING IS A MUSEUM FACILITY, AND ALL NOISE-GENERATING WORK SHALL BE COORDINATED WITH THE OWNER WITH A MINIMUM OF TWO-WEEKS ADVANCE NOTICE BEING GIVEN.

4. THE CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT COMPANY FOR ALL REQUIRED NOTIFICATIONS PRIOR TO AND DURING THE ENTIRE PROJECT. AT A MINIMUM, THE CONTRACTOR SHALL ASSUME WEEKLY PROGRESS MEETINGS WITH THE OWNER AND/OR ARCHITECT FOR COORDINATION PURPOSES AND REVIEW OF LOOK-AHEAD SCHEDULES FOR THE CONTRACTOR.

5. AS APPLICABLE AT THE TIME OF THE BID, THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED AND CURRENT COVID-19 MANADATED AND BEST PRACTICE PROTOCOLS ESTABLISHED BY LOCAL, STATE, AND FEDERAL AND OWNER REQUIREMENTS.

6. THE CONTRACTOR SHALL SECURE AND MAINTAIN DURING THE FULL DURATION OF THE PROJECT ALL REQUIRED PERMITS AND REGULATORY APPROVALS, INCLUDING, BUT NOT LIMITED TO, SUPPORTED SCAFFOLDING, AND ASSOCIATED POSTINGS, CONTROLLED ACCESS ZONES, FENCING, LANE CLOSURE PERMITS, ETC. ENSURE THAT ALL PERMITS ARE APPROPRIATELY POSTED AND RENEWED. AFTER THE WORK, THE CONTRACTOR SHALL CLOSE OUT ALL PERMITS AND PAY ALL OUTSTANDING FINES AGAINST THEM RELATED TO THE WORK.

7. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND THEIR ASSOCIATED PLINGS, INCLUDING REMOVAL DRAWINGS.

8. THE CONTRACTOR SHALL RETAIN A NYS-LICENSED STRUCTURAL ENGINEER TO DESIGN ALL REQUIRED SHORING, BRACING, AND TEMPORARY SUPPORTS AT ALL WORK AREAS. ADDITIONALLY, THE CONTRACTOR SHALL RETAIN A NYS-LICENSED STRUCTURAL ENGINEER TO DESIGN OTHER WORK ITEMS THAT ARE NOTED ON THE DRAWINGS.

9. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED COORDINATION AND COOPERATION WITH THE OWNER-RETAINED SPECIAL INSPECTION AGENT (SIA) AND ARCHITECT FOR ALL INSPECTIONS AND TESTS IDENTIFIED FOR SPECIAL AND PROGRESS INSPECTIONS. THE QUANTITIES OF TESTS/SAMPLES/INSPECTIONS SHALL BE DETERMINED BY THE SIA.

10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL REQUIRED MATERIAL STORAGE AREAS, OFFICE, CHANGING AREAS FOR WORKERS, AND TOILET FACILITIES AS REQUIRED FOR THEIR PROPER EXECUTION OF THE WORK.

11. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL REQUIRED OSHA-COMPLIANT FALL PROTECTION MEASURES IN WORK AREAS.

12. ASBESTOS ABATEMENT: REMOVE AND DISPOSE OF ASBESTOS AND HAZARDOUS MATERIAL PER ASBESTOS REPORT, SPECIFICATIONS, AND DRAWINGS. COORDINATE AIR MONITORING PROVIDED BY THE OWNER. OBTAIN ALL NECESSARY PERMITS AND VARIANCES ACP7 AND ACP21 FOR THE PROJECT. ALL DECON CHAMBERS SHALL BE SUPPLIED AND MAINTAINED BY THE CONTRACTOR AND IN LOCATIONS APPROVED BY THE OWNER.

13. INTERIOR REMOVAL GENERAL NOTES:

- THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC.
- PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND/OR EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS.
- REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED. REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATED INTO THE WORK.
- AT CONCEALED EXIST. CONDITIONS, IF DETEIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION.
- REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS.
- THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING.
- PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK.
- PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK.
- REFER TO THE TECHNICAL SPECIFICATIONS FOR THE REMOVAL AND ABATEMENT OF ALL HAZARDOUS MATERIALS, INCLUDING ASBESTOS-CONTAINING MATERIALS.
- REFER TO THE TECHNICAL SPECIFICATIONS FOR WORK THAT AFFECTS THE EXIST. PAINTED SURFACES THAT MAY CONTAIN LEAD-BASED PAINT. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW U.S. EPA LEAD SAFE PROCEDURES.

15. I-R-01: SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING.

16. I-R-02: SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMPS/STAIRS(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNER'S ARCHEOLOGIST.

17. I-R-03: EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNER'S ARCHEOLOGIST.

18. I-R-05: SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING.

19. I-R-06A: SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR MORE INFORMATION, COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNER'S ARCHEOLOGIST.

20. I-R-06B: RETAIN EXISTING SAFE DOOR, SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER.

21. I-R-07: DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNER'S ARCHEOLOGIST.

22. I-R-08: DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER.

23. I-R-09: DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES.

24. I-R-11: DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK.

25. I-R-12: DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK/SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- EXIST. WD. SLEEPERS AND WOOD FRAMING

02

REPAIR/RESTORATION LEGEND

REPAIR/RESTORATION LEGEND

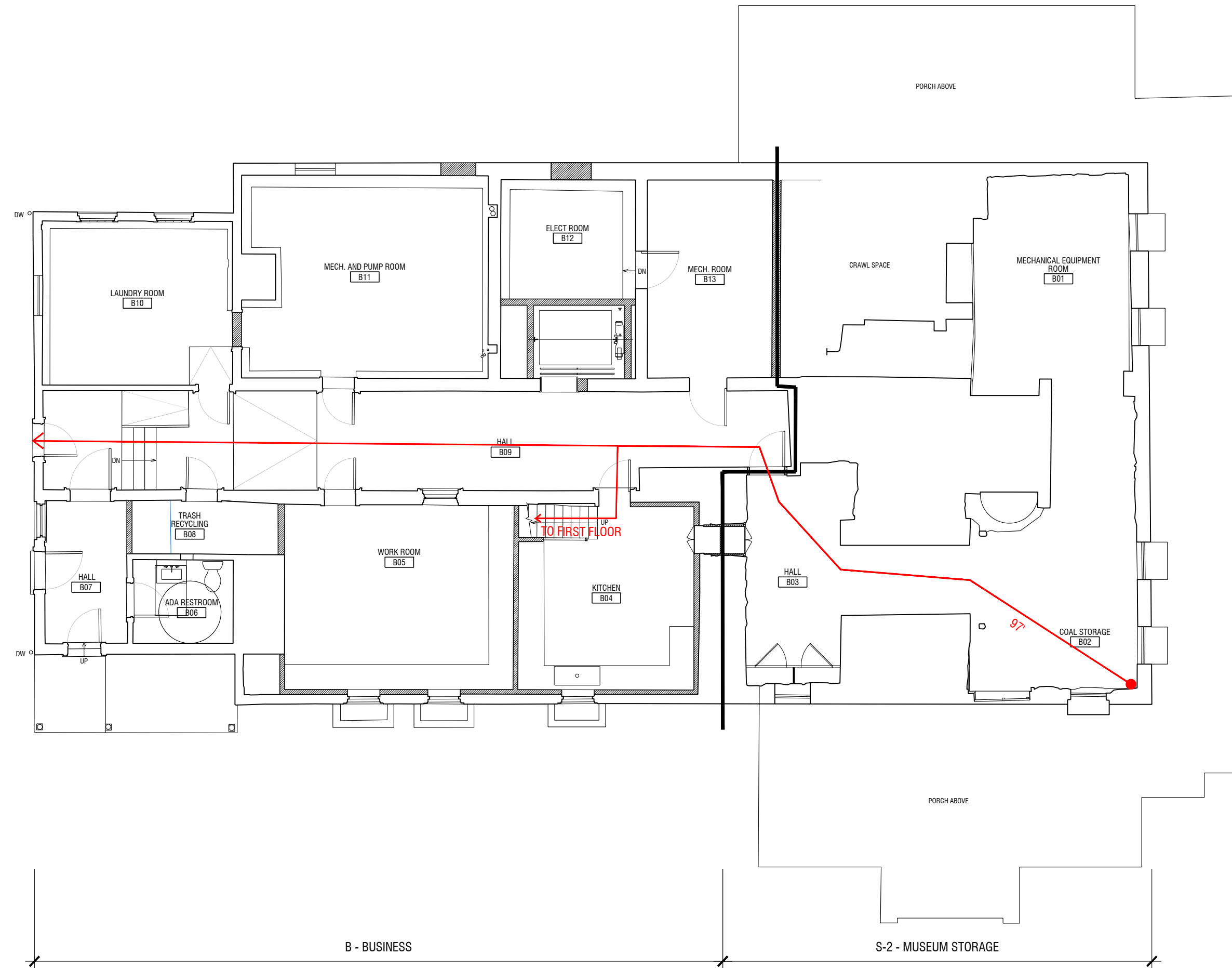
(APPLIES TO ALL FORTHCOMING DRAWING SHEETS)

| KEY NOTE | DRAWING GRAPHIC | DESCRIPTION | DETAIL |
|--|-----------------|--|---------|
| THERMAL AND MOISTURE PROTECTION | | | |
| (MT-GUT-29A) | | GUTTER & DOWNSPOUT INSTALLATION: REMOVE EXIST. GUTTERS AND INSTALL NEW LEAD-COATED COPPER GUTTERS AND DOWNSPOUTS, AND CONNECT TO NEW SUB-GRADE DRAINAGE SYSTEM. | X/A-50X |
| (MT-GUT-29B) | | GUTTER & DOWNSPOUT INSTALLATION: INSTALL NEW LEAD-COATED COPPER GUTTERS AND DOWNSPOUTS, AND CONNECT TO NEW SUB-GRADE DRAINAGE SYSTEM. | X/A-50X |
| (MT-FLA-30) | | MISCELLANEOUS METAL COPPER FLASHING REPLACEMENT: INSTALL NEW LEAD-COATED COPPER FLASHINGS ABOVE WINDOWS, AT THE WATER TABLE, AND AS SHOWN ON THE DRAWINGS. REMOVE AND REPLACE SIDING AS REQUIRED TO PERFORM THE WORK. | X/A-50X |
| (SE-MISC-32) | | SEALANT REPLACEMENT: REMOVE EXIST. SEALANTS AND PROVIDE NEW SEALANT JOINTS AS INDICATED ON THE DRAWINGS. ALL SEALANTS SHALL BE A CUSTOM COLOR. SEE THE TECHNICAL SPECIFICATIONS. | X/A-50X |
| WINDOWS AND DOORS | | | |
| (WD-DOO-33) | | WOOD DOOR RESTORATION: DEMO AND REMOVE EXIST. STORM DOOR, IF PRESENT. REMOVE THE DOOR SLAB TO BE RESTORED IN AN APPROVED OFF-SITE WOODWORKSHOP SHOP IN A CONTROLLED ENVIRONMENT. THE DOOR SHOULD BE CAREFULLY STRIPPED OF ALL PAINT, CAULK, FILLER, AND INAPPROPRIATE PATCHES AND RESTORED, INCLUDING REPLACING DETERIORATED ELEMENTS TO MATCH EXIST. IN SPECIES (TYPE), SIZE (HEIGHT, THICKNESS, ETC.), GRADE (QUALITY) AND JOINERY (ASSEMBLY). REINSTALL DOOR AFTER COMPLETION OF REPAIRS. REPAIR EXIST. INTERIOR AND EXTERIOR WOOD FRAME, STANDING AND RUNNING TRIM, AND SADDLES IN SITU BASED ON THE FOLLOWING CRITERIA: <ul style="list-style-type: none">WOOD EPOXY CONSOLIDATION SHALL BE PERFORMED ONLY WHERE DETEIORATION IS MINIMAL AND WITH PRIOR APPROVAL OF THE ARCHITECT.INSTALL WOOD BUTCHMAN REPAIRS WHERE INDICATED AND WHERE WOODS OR CRACKS EXIST.REPLACE WOOD ELEMENTS WHERE DAMAGE GOES BEYOND WHAT IS APPROPRIATE TO CONSOLIDATE OR SELECTIVELY REPLACE WITH A BUTCHMAN, OR DETERIORATION IS TOO EXTENSIVE. WOOD REPLACEMENT AND BUTCHMAN REPAIRS TO MATCH EXIST. PREPARE, PRIME AND PAINT.CALL ANY UNDERLYING DETERIORATION TO THE WOOD AND MASONRY STRUCTURAL ELEMENTS TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION PRIOR TO WORK. | X/A-50X |
| (WD-WIN-34) | | WOOD WINDOW REPAIR: REMOVE EXIST. EXTERIOR SECONDARY GLAZING AND EXISTING STORM WINDOW. RESTORE EXISTING WOOD WINDOW SASH AND RESTORE IN THE SHOP, AND REPAIR THE FRAME IN SITU. THE WINDOW SHOULD BE STRIPPED OF ALL PAINT, CAULK, FILLER, AND INAPPROPRIATE PATCHES FOLLOWING LEAD SAFE PRACTICES. PREPARE, PRIME, AND PAINT WITH TWO COATS, AND RESTORE TO COMPLETE FUNCTIONING CONDITIONS. REINSTALL WINDOW AFTER COMPLETION OF REPAIRS. REMOVE AND REPLACE ALL WINDOW GLASS WITH NEW 1/4-INCH LAMINATED GLASS AND REPLACE GLAZING PUTTY. INSTALL NEW WEATHERSTRIPPING. REPAIR INTERIOR FINISHES DAMAGED BY THE WORK. PREPARE, PRIME, AND PAINT ALL ELEMENTS PER THE TECHNICAL SPECIFICATIONS. | X/A-50X |
| (WD-WIN-34A) | | WOOD WINDOW SASH REPLACEMENT: WOOD SASH REPLACEMENT: REMOVE EXISTING STORM WINDOW. REMOVE EXISTING WOOD WINDOW SASH AND REPLACE WITH NEW MAHOGANY DOUBLE-GLAZING SASH WITH INTEGRATED WEIGHT/POULLEY MECHANISM. PROFILES TO MATCH EXISTING. REMOVE AND REPLACE EXISTING PARTING BEAD AND STOP. AND INSTALL NEW 1/4" MAHOGANY WOOD JAMB. RLL WEIGHT POCKETS WITH INSULATION. INSTALL NEW BRASS SASH LOCK. INSTALL INSECT SCREEN. REPAIR INTERIOR FINISHES DAMAGED BY THE WORK. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. | X/A-50X |
| (WD-WIN-35) | | NEW WOOD WINDOW INSTALLATION: REMOVE EXIST. (WINDOWS), PROVIDE ALL REQUIRED SHORING AND BRACING. FRAME NEW OPENINGS AS NOTICED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. PROVIDE NEW WOOD DOUBLE-HUNG WINDOWS ON THE WEST ELEVATOR AS NOTICED ON THE DRAWINGS AND WINDOW SCHEDULE. NEW WINDOWS TO MATCH HISTORIC WINDOWS IN SIZE AND PROFILE. PROVIDE TRIM, SILL, STOOL, ETC. TO MATCH ADJACENT WINDOWS. | X/A-50X |
| (WD-SHU-36) | | WOOD SHUTTER REPLACEMENT: REPLACE MISSING AND DETERIORATED WOOD SHUTTERS WITH (LOUVERED SHUTTERS, TO MATCH EXIST. IN SPECIES (TYPE), SIZE (HEIGHT, THICKNESS, ETC.), GRADE (QUALITY) AND JOINERY (ASSEMBLY), WITH OPERABLE LOUVERS. INSTALL NEW HARDWARE, INCLUDING HINGES AND SHUTTER DOGS. PREPARE, PRIME, AND PAINT PER THE TECHNICAL SPECIFICATIONS. | X/A-50X |
| FINISHES | | | |
| (CO-FOW-42) | | FOUNDATION WALL COATING: CAREFULLY PREPARING EXIST. MASONRY SURFACES PER THE MANUFACTURERS RECOMMENDATIONS. APPLY BREATHABLE MASONRY COATING IN CUSTOM COLOR PER THE FINISH SCHEDULE OVER EXTERIOR FOUNDATION WALL/PARGE COAT. ASSUME 100% COVERAGE. | |
| (PT-MMT-43) | | MISCELLANEOUS METAL PAINTING: FOLLOWING RESTORATION, PREPARE, PRIME, AND PAINT EXTERIOR METAL ELEMENTS PER THE TECHNICAL SPECIFICATIONS AND FINISH SCHEDULE INCLUDING, BUT NOT LIMITED TO, METAL GRATES AT SOUTH WINDOW WELLS. | |
| (PT-MWT-44) | | MISCELLANEOUS WOOD PAINTING: FOLLOWING RESTORATION AND/OR REPLACEMENT, PREPARE, PRIME, AND PAINT EXTERIOR WOOD ELEMENTS INCLUDING, BUT NOT LIMITED TO, CORNICES, BRACKETS, DENTILS, FASCIA, SIDING, TRIM, CORNER BRACKETS, SHUTTERS, WATER TABLES, RAILINGS, COLUMNS, LATTICE PANELS, STAIR TREADS/RISERS/STRINGERS, SHUTTERS PER THE TECHNICAL SPECIFICATIONS. ASSUME 100% REPAIRING OF ALL EXTERIOR ELEMENTS OF THE MAJOR HOUSE REQUIRING PAINT COATINGS. | |
| NOTES: | | | |
| 1. THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT-SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXIST. BUILDING FABRIC. | | | |
| 2. PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND/OR EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | | | |
| 3. REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED. REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATED INTO THE WORK. | | | |
| 4. CONCEALED EXIST. CONDITIONS: IF DETEIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. | | | |
| 5. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. | | | |
| 6. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO, POWER AND LIGHTING. | | | |
| 7. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER. AS REQUIRED BY SPECIFIC LOCATIONS, SHORING AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. | | | |
| 8. PROVIDE ALL REQUIRED PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. | | | |
| 9. REFER TO THE TECHNICAL SPECIFICATIONS FOR THE REMOVAL AND ABATEMENT OF ALL HAZARDOUS MATERIALS, INCLUDING ASBESTOS-CONTAINING MATERIALS. | | | |
| 10. REFER TO THE TECHNICAL SPECIFICATIONS FOR WORK THAT AFFECTS THE EXIST. PAINTED SURFACES THAT MAY CONTAIN LEAD-BASED PAINT. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW U.S. EPA LEAD SAFE PROCEDURES. | | | |

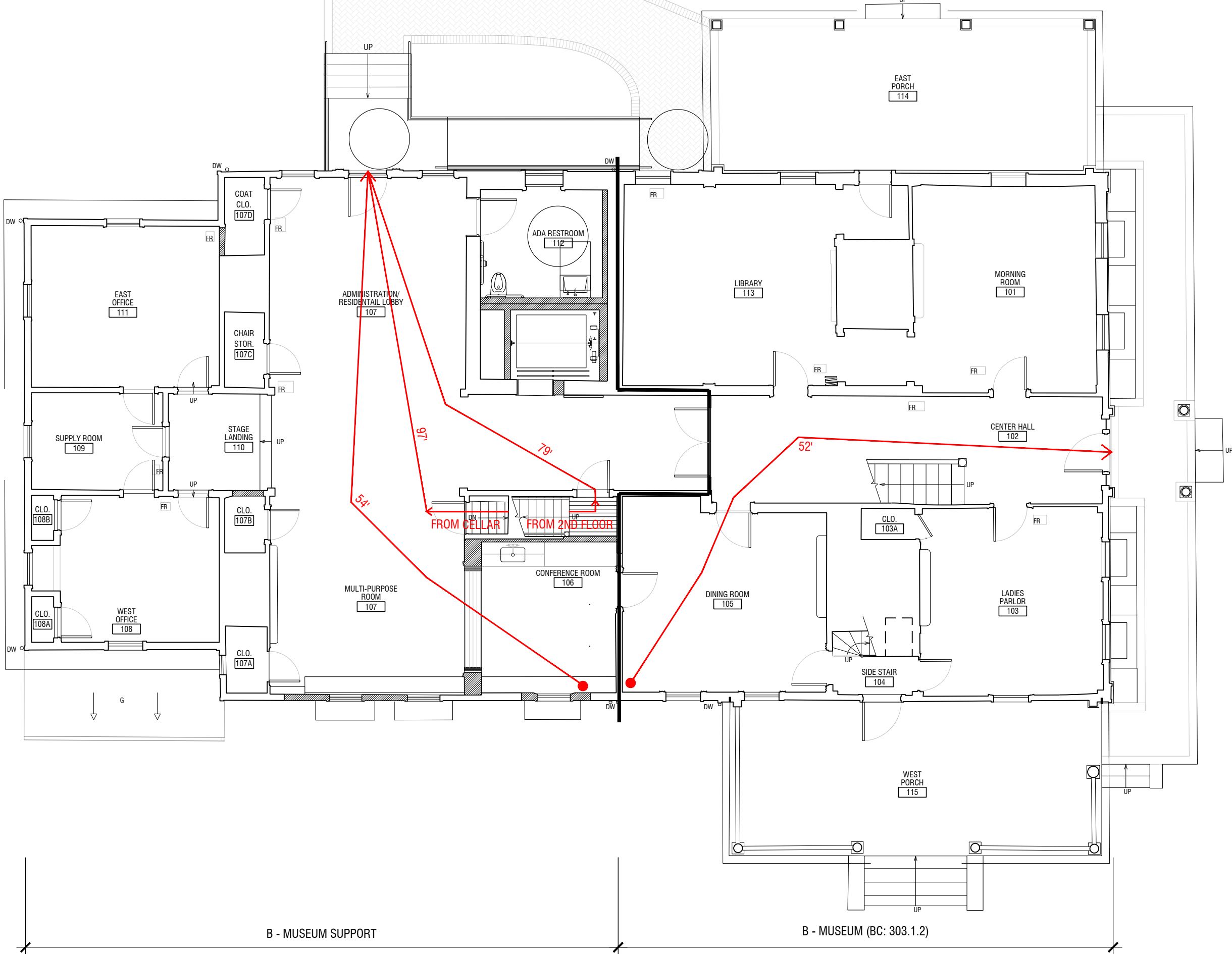
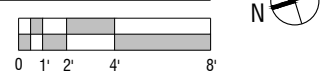
[illegible]

| | | | | |
|--|-------------------------------------|---|----|--------------|
| 11 | 12 | 13 | 14 | 15 |
| 04 | SPECIAL & PROGRESS INSPECTIONS | | | |
| THE OWNER SHALL BE RESPONSIBLE FOR THE FOLLOWING SPECIAL OR PROGRESS INSPECTIONS: | | | | |
| SPECIAL INSPECTION CATEGORIES | | <input checked="" type="checkbox"/> INDICATES REPORT REQUIRED | | |
| Y | N | SPECIAL INSPECTIONS | | CODE/SECTION |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | STRUCTURAL STEEL - WELDING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | STRUCTURAL STEEL - DETAILS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | STRUCTURAL STEEL - HIGH STRENGTH BOLTING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | STRUCTURAL COLD-FORMED STEEL | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | CONCRETE - CAST-IN-PLACE | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | CONCRETE - PRECAST | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | CONCRETE - PRESTRESSED | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | MASONRY | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | WOOD - INSTALLATION OF HIGH-LOAD-DIAPHRAGMS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | WOOD - INSTALLATION OF METAL-PALTE-CONNECTED-TRUSSES | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | WOOD - INSTALLATION OF PREFABRICATED I-JOISTS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | SUBGRADE INSPECTION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SUBSURFACE CONDITIONS - FILL PLACEMENT & IN-PLACE DENSITY | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SUBSURFACE INVESTIGATION (BORINGS/TEST PITS) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | DEEP FOUNDATION ELEMENTS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | HELICAL PILES (BB # 2014-020) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | VERTICAL MASONRY FOUNDATION ELEMENTS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | WALL PANELS, CURTAIN WALLS, AND VENEERS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | SPRAYED FIRE-RESISTANT MATERIALS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | ALTERNATIVE MATERIALS - OTCR BUILDINGS BULLETIN # _____ | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SMOKE CONTROL SYSTEMS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | MECHANICAL SYSTEMS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | FUEL-OIL STORAGE AND FUEL-OIL PIPING SYSTEMS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | HIGH-PRESSURE STEAM PIPING (WELDING) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | HIGH TEMPERATURE HOT WATER PIPING (WELDING) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | HIGH-PRESSURE FUEL-GAS PIPING (WELDING) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | STRUCTURAL STABILITY - EXISTING BUILDING | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | EXCAVATIONS - SHEETING, SHORING, AND BRACING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | UNDERPINNING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | MECHANICAL DEMOLITION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | RAISING AND MOVING OF A BUILDING | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SOIL PERCOLATION TEST - PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETENTION FACILITIES | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETENTION FACILITIES INSTALLATION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS INSTALLATION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SOIL PERCOLATION TEST - INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | SPRINKLER SYSTEMS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | STANDPIPE SYSTEMS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | HEATING SYSTEMS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | CHIMNEYS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | FIRE-RESISTANT PENETRATIONS AND JOINTS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | ALUMINUM WELDING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | FLOOD ZONE COMPLIANCE (ATTACH FEMA ELEVATION/DRY FLOODPROOFING CERTIFICATE WHERE APPLICABLE) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | LUMINOUS EGRESS PATH MARKINGS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | EMERGENCY AND STANDBY POWER SYSTEMS (GENERATORS) | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | POST-INSTALLED ANCHORS (BB# 2014-018, 2014-019) | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | SEISMIC ISOLATION SYSTEMS | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | CONCRETE DESIGN MIX | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | CONCRETE SAMPLING AND TESTING | | |
| PROGRESS INSPECTION CATEGORIES | | | | |
| Y | N | PROGRESS INSPECTIONS | | CODE/SECTION |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | PRELIMINARY | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | FOOTING AND FOUNDATION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | LOWEST FLOOR ELEVATION | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | STRUCTURAL WOOD FRAME | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | ENERGY CODE COMPLIANCE INSPECTIONS | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | FIRE-RESISTANCE RATED CONSTRUCTION | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | PUBLIC ASSEMBLY EMERGENCY LIGHTING | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | FINAL* | | |
| THE CONTRACTOR MUST NOTIFY THE SPECIAL INSPECTION AGENCY FOR SPECIAL AND PROGRESS INSPECTIONS AT LEAST 72 HOURS BEFORE THE SPECIFIC WORK COMMENCES. | | | | |
| REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR "SPECIAL INSPECTION" BY THE CONTRACTOR SHALL BE MADE UNDER THE DIRECT SUPERVISION OF A LICENSED ARCHITECT OR ENGINEER RETAINED BY OR ON THE BEHALF OF THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT OR ENGINEER WHO SUPERVISED THE PREPARATION OF THE PLANS. | | | | |
| 11 | 12 | 13 | 14 | 15 |

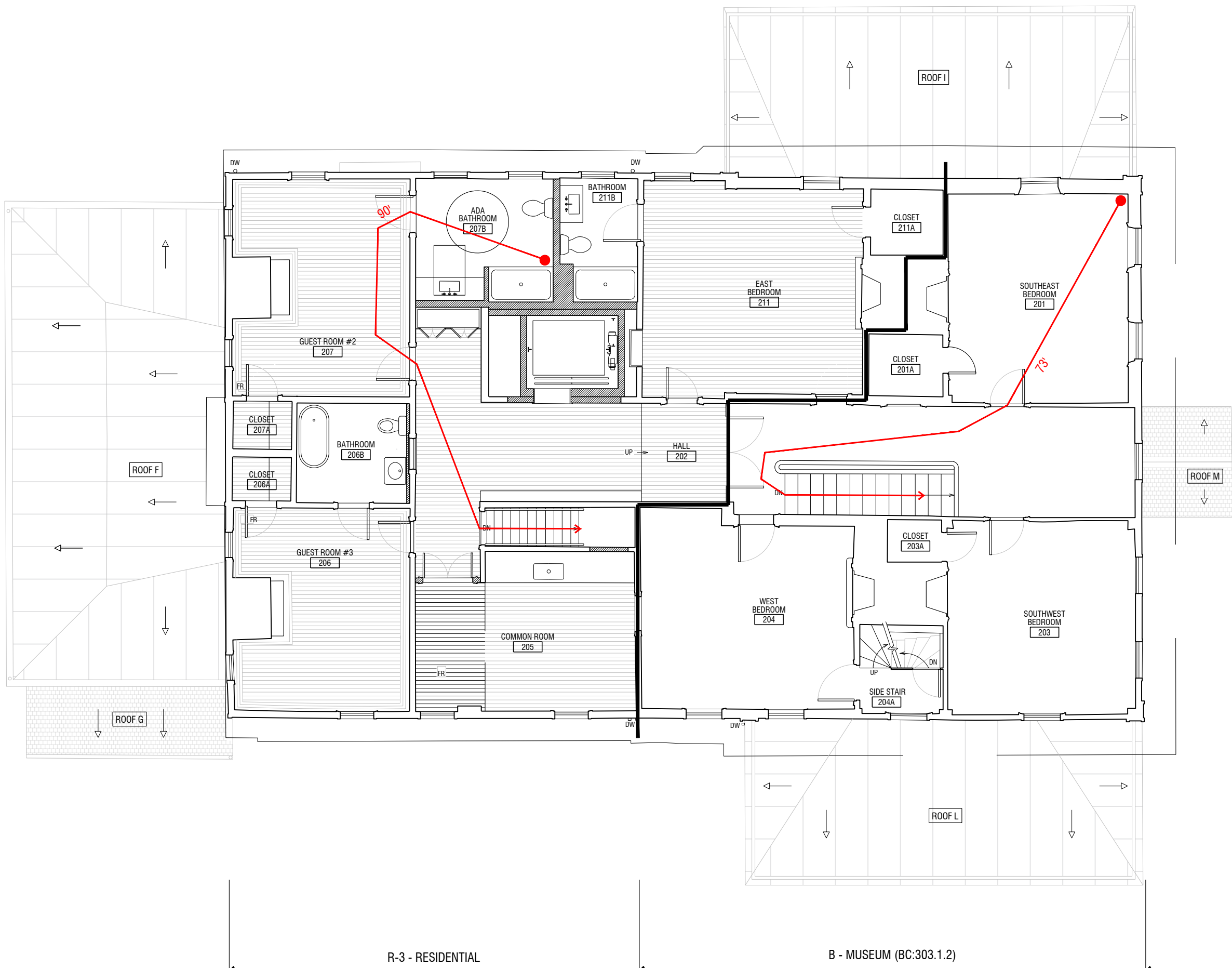
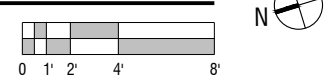
PLOTTED: 1/31/2024 11:24 AM BY: --- FILE NAME: I:\01_projects\01_architectural\preservation\studio\2023\23-037_snr\interior and exterior\01_drawings\02_current\23-037_0_1-004.dwg



1 CELLAR EGRESS PLAN



2 FIRST FLOOR EGRESS PLAN



3 SECOND FLOOR EGRESS PLAN



PROPOSED OCCUPANCIES

| OCCUPANCY TYPE | MAXIMUM COMMON PATH OF TRAVEL (SPRINKLERED) | MAXIMUM OCCUPANT LOAD |
|--------------------------|---|-----------------------|
| B - MUSEUM (BC: 303.1.2) | 100'-0" | 49 |
| S-2 - MUSEUM STORAGE | 100'-0" | 29 |
| R-3 - RESIDENTIAL | 125'-0" | 16 |

ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532
A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011
JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001
METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007
JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 76 RUE DE FONTENAY 94300 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003
F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYSOA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT
SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

EGRESS PLANS & OCCUPANCY NOTES

SEAL & SIGNATURE

DATE
06.01.2023
PROJECT No.
23-037
SCALE
AS NOTED
DRAWING BY
MT, DT
CHECKED BY
PJ, DE, SG
DRAWN BY
T-004.00
REGISTRATION EXPIRATION DATE: 11/03/2028
COPYRIGHT © 2024 ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED



594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 76 RUE DE FONTENAY 94300 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, LS, P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER



MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NT



DOB JOB #

COB STICKS

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ADA DETAILS

SEAL & SIGNATURE



APR SUBJECT No: 23-037

| |
|----------|
| AS NOTED |
|----------|

[illegible][illegible]

CHECKED BY: _____ TS, DL, SD

DWS No:

T-005 00

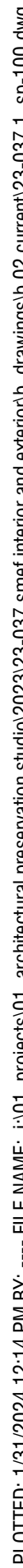
1 000.00

OF

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 | 101 | 102 | 103 | 104 | 105 | 106 | 107 | 108 | 109 | 110 | 111 | 112 | 113 | 114 | 115 | 116 | 117 | 118 | 119 | 120 | 121 | 122 | 123 | 124 | 125 | 126 | 127 | 128 | 129 | 130 | 131 | 132 | 133 | 134 | 135 | 136 | 137 | 138 | 139 | 140 | 141 | 142 | 143 | 144 | 145 | 146 | 147 | 148 | 149 | 150 | 151 | 152 | 153 | 154 | 155 | 156 | 157 | 158 | 159 | 160 | 161 | 162 | 163 | 164 | 165 | 166 | 167 | 168 | 169 | 170 | 171 | 172 | 173 | 174 | 175 | 176 | 177 | 178 | 179 | 180 | 181 | 182 | 183 | 184 | 185 | 186 | 187 | 188 | 189 | 190 | 191 | 192 | 193 | 194 | 195 | 196 | 197 | 198 | 199 | 200 | 201 | 202 | 203 | 204 | 205 | 206 | 207 | 208 | 209 | 210 | 211 | 212 | 213 | 214 | 215 | 216 | 217 | 218 | 219 | 220 | 221 | 222 | 223 | 224 | 225 | 226 | 227 | 228 | 229 | 230 | 231 | 232 | 233 | 234 | 235 | 236 | 237 | 238 | 239 | 240 | 241 | 242 | 243 | 244 | 245 | 246 | 247 | 248 | 249 | 250 | 251 | 252 | 253 | 254 | 255 | 256 | 257 | 258 | 259 | 260 | 261 | 262 | 263 | 264 | 265 | 266 | 267 | 268 | 269 | 270 | 271 | 272 | 273 | 274 | 275 | 276 | 277 | 278 | 279 | 280 | 281 | 282 | 283 | 284 | 285 | 286 | 287 | 288 | 289 | 290 | 291 | 292 | 293 | 294 | 295 | 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 | 306 | 307 | 308 | 309 | 310 | 311 | 312 | 313 | 314 | 315 | 316 | 317 | 318 | 319 | 320 | 321 | 322 | 323 | 324 | 325 | 326 | 327 | 328 | 329 | 330 | 331 | 332 | 333 | 334 | 335 | 336 | 337 | 338 | 339 | 340 | 341 | 342 | 343 | 344 | 345 | 346 | 347 | 348 | 349 | 350 | 351 | 352 | 353 | 354 | 355 | 356 | 357 | 358 | 359 | 360 | 361 | 362 | 363 | 364 | 365 | 366 | 367 | 368 | 369 | 370 | 371 | 372 | 373 | 374 | 375 | 376 | 377 | 378 | 379 | 380 | 381 | 382 | 383 | 384 | 385 | 386 | 387 | 388 | 389 | 390 | 391 | 392 | 393 | 394 | 395 | 396 | 397 | 398 | 399 | 400 | 401 | 402 | 403 | 404 | 405 | 406 | 407 | 408 | 409 | 410 | 411 | 412 | 413 | 414 | 415 | 416 | 417 | 418 | 419 | 420 | 421 | 422 | 423 | 424 | 425 | 426 | 427 | 428 | 429 | 430 | 431 | 432 | 433 | 434 | 435 | 436 | 437 | 438 | 439 | 440 | 441 | 442 | 443 | 444 | 445 | 446 | 447 | 448 | 449 | 450 | 451 | 452 | 453 | 454 | 455 | 456 | 457 | 458 | 459 | 460 | 461 | 462 | 463 | 464 | 465 | 466 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|

IN STUDIOS, BY 5 FULL NIGHTS NEGATIVES

PLOTTED: 1/31/2024 11:25 AM BY: ---- FILE NAME: i:\01_projects\01_architectural preservation studio\2023\23-037 smef interior and exterior\ drawings\b.02 current\23-037_0_1001-1003.dwg





CERTIFIED TO:
SYLVESTER MANOR EDUCATIONAL FARM
DBA SYLVESTER MANOR

[illegible][illegible]

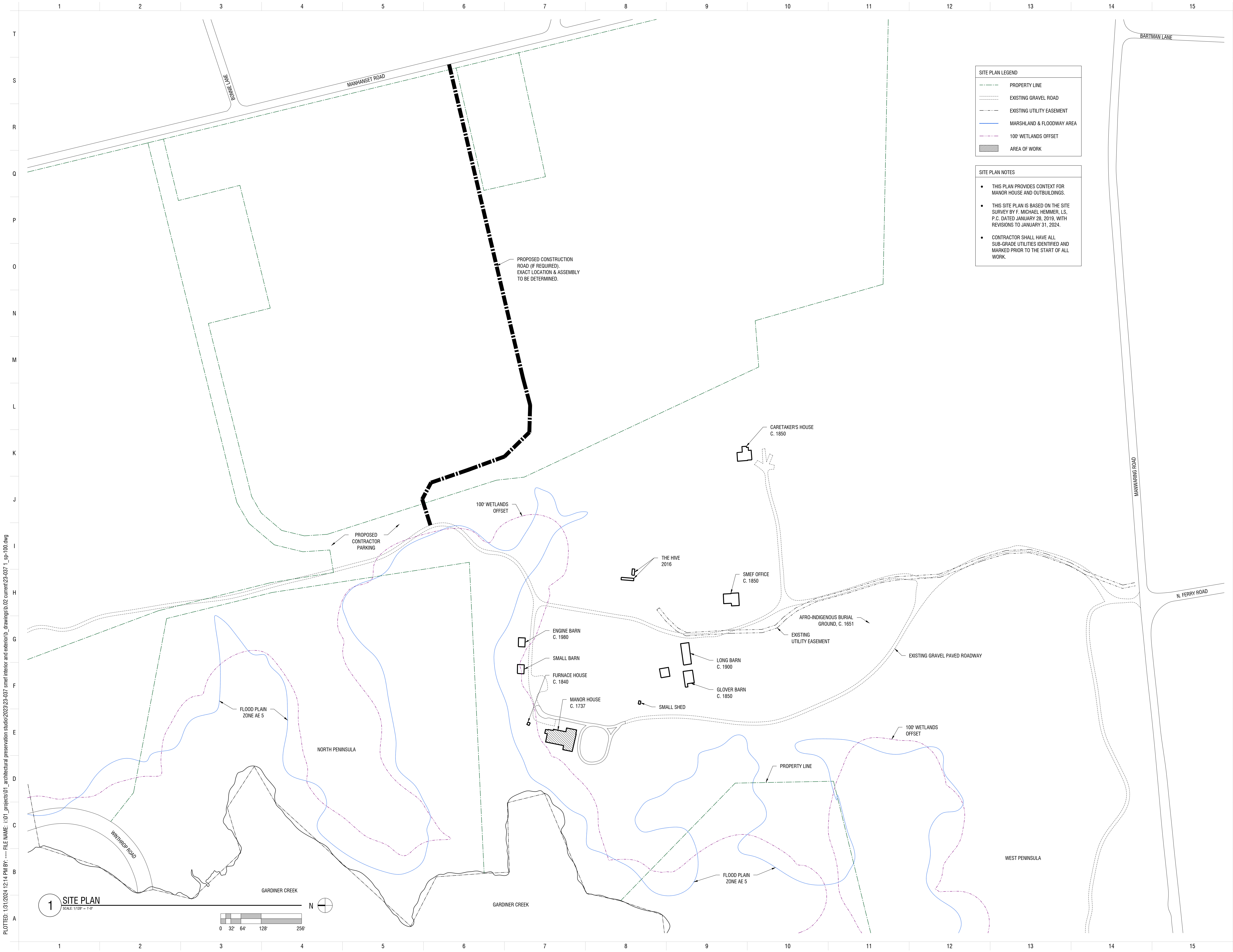
DOB JOB #

DOB STICKER

SITE SURVEY DETAIL



| | |
|-----------------|------------|
| DATE: | 06.01.2023 |
| APS PROJECT No: | 23-037 |
| SCALE: | AS NOTED |
| DRAWINGS BY: | MT, DT |
| CHECKED BY: | PJ, DE, SG |
| DWG No: | SP-102.00 |
| DWG COUNT: | # OF ## |



ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001


METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94000 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

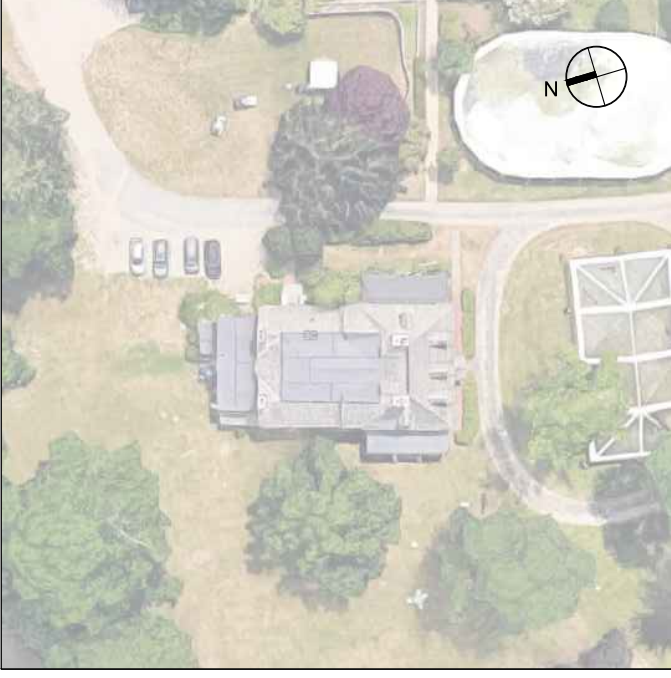
CLIENT / OWNER



SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS



| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER


PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

SITE PLAN

SEAL & SIGNATURE



DATE:

06.01.2023

APS PROJECT No:

23-037

SCALE:

AS NOTED

DRAWING BY:

MT, DT

CHECKED BY:

P.J. DE SG

DWG No:

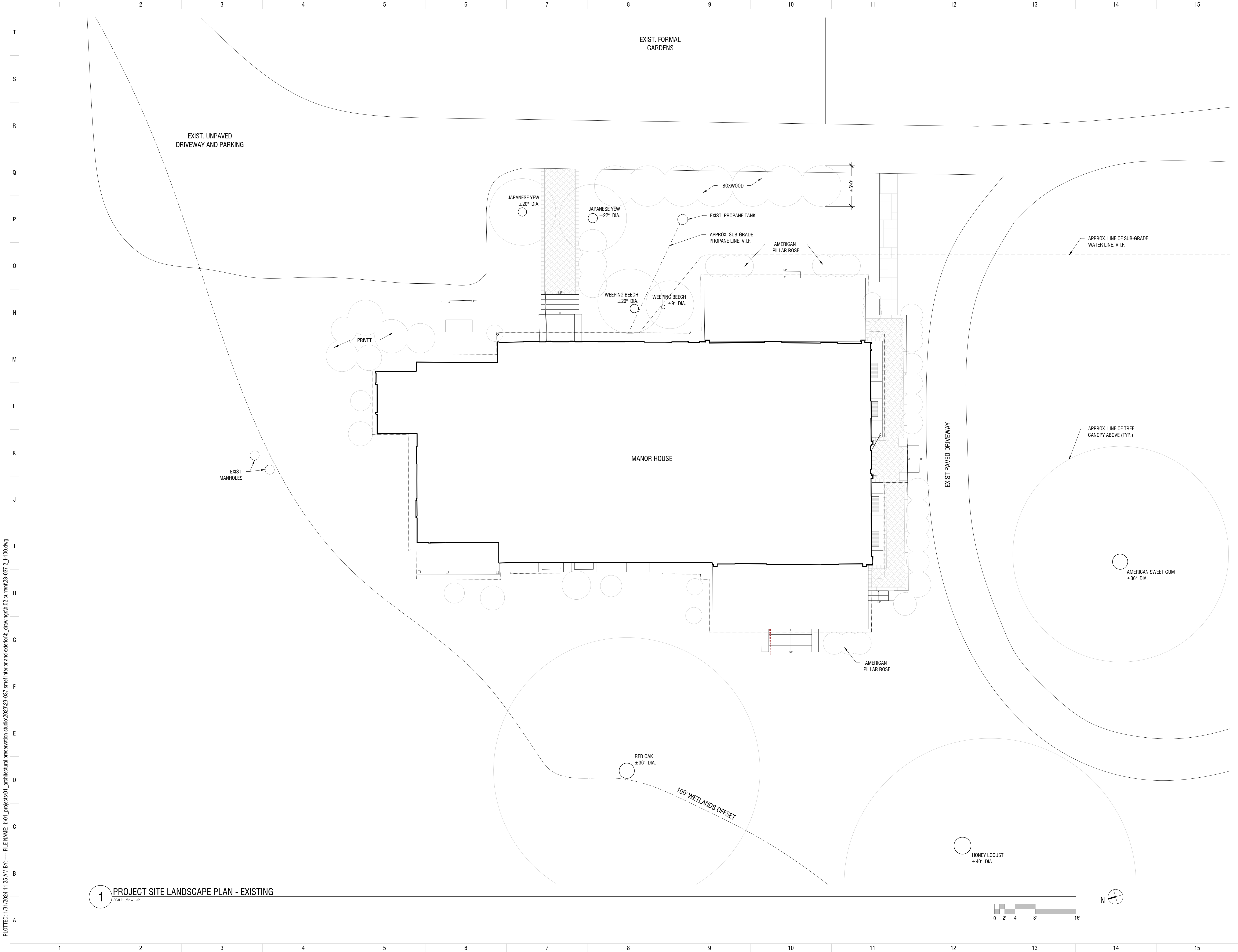
SP-103.00

DWG COUNT:

OF

REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED



ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

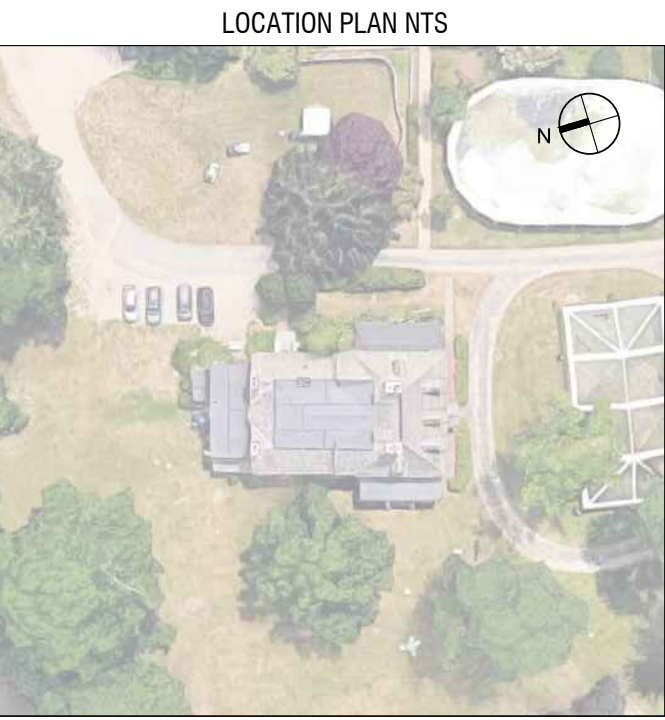
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94000 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964



| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

| |
|-------------|
| DOB JOB # |
| DOB STICKER |

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

PROJECT SITE LANDSCAPE PLAN - EXISTING

SEAL & SIGNATURE

APRILA S. JEROME

DATE: 06.01.2023

APS PROJECT NO: 23-037

SCALE: AS NOTED

DRAWING BY: MT, DT

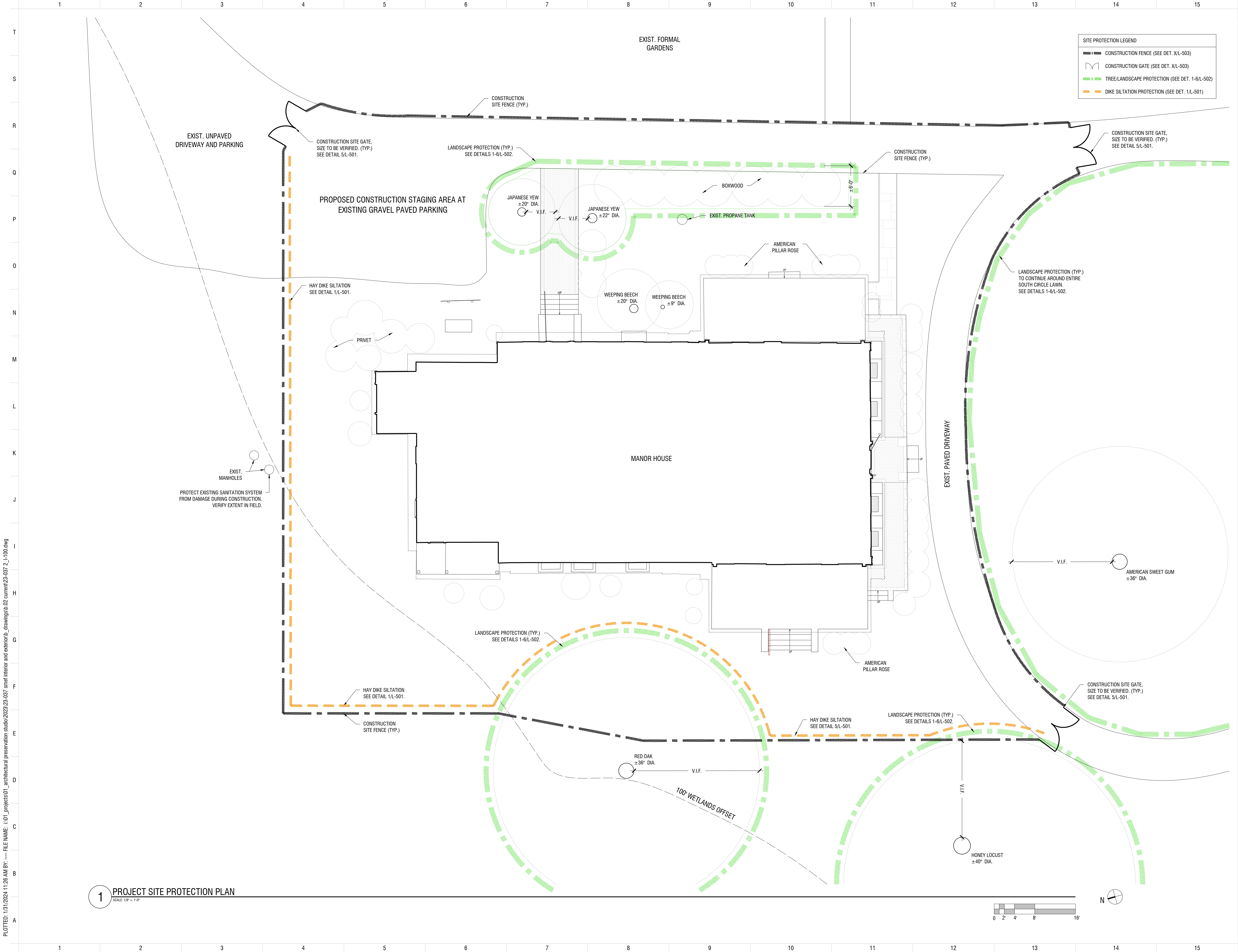
CHECKED BY: P.J. DE SG

DWG NO: L-101.00

DWG COUNT: # OF ##

REGISTRATION EXPIRATION DATE: 11.30.2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED



ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532
A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011
JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001
METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007
JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94200 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003
F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

PROJECT SITE PROTECTION PLAN

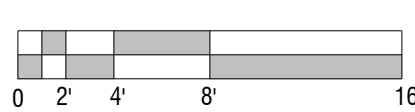
SEAL & SIGNATURE

DATE: 06.01.2023
APS PROJECT No: 23-037
SCALE: AS NOTED
DRAWING BY: MT, DT
CHECKED BY: P.J. DE SG
DWG No: L-102.00
OF ##
REGISTRATION EXPIRATION DATE: 11.30.2026
COPYRIGHT © 2024 ARCHITECTURAL PRESERVATION STUDIO, DPC. ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:25 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_snel interior and exterior\02_current\23-037_2_1-100.dwg

1 PROJECT SITE LANDSCAPE PLAN - REMOVAL

SCALE: 1/8" = 1'-0"



LANDSCAPE REMOVAL LEGEND

KEY NOTES:

✕

DEMO AND REMOVE EXIST. PLANTING AND/OR TREES. GRIND ALL TREE ROOTS AND PREPARE SUB-GRADE FOR NEW PROPOSED WORK.

ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94300 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

PROJECT SITE LANDSCAPE PLAN - REMOVAL

SEAL & SIGNATURE

DATE: 06.01.2023

APRIL S. JEROME

APRIL S. JEROME

SCALE: AS NOTED

DRAWING BY: MT, DT

CHECKED BY: P.J. DE SG

DWG NO: L-103.00

OF

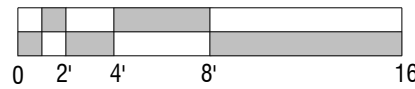
REGISTRATION EXPIRATION DATE: 11.12.2025

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:26 AM BY: ---- FILE NAME: I:\01_projects\01_architectural\preservation_studio\2023\23-037_sml interior and exterior\02_current\23-037_2_1-100.dwg

1 PROJECT SITE LANDSCAPE PLAN - CONSTRUCTION

SCALE: 1/8" = 1'-0"



LANDSCAPE REMOVAL CONSTRUCTION NOTES

UNDERTAKE SITE RESTORATION AT THE COMPLETION OF ALL CONSTRUCTION WORK OR PHASES AS DIRECTED BY THE OWNER.

EXIST. FORMAL GARDENS

EXIST. UNPAVED DRIVEWAY AND PARKING

MANOR HOUSE

EXIST PAVED DRIVEWAY

EXIST. MANHOLES

PREPARE AND ADD TOP SOIL AND SEED AT FORMER PARKING AREA.

RESET EXIST. BRICK PAVERS ON NEW STONE DUST BED WITH METAL EDGING.

SEE ARCHITECTURAL DRAWINGS FOR NEW STAIR AND ADA RAMP.

REGRADE AND SEED AT FORMER FOUNDATION.

REGRADE AND SEED AT FORMER CABANA FOUNDATION.

NEW PERVIOUS BRICK PAVEMENT WALKWAY SET ON STONE DUST BED WITH METAL EDGING. REGRADE SO GRADE IS COPLANER WITH DOORS AND PORCH AT NORTH FACADE.

NEW PERVIOUS BRICK PAVEMENT WALKWAY SET ON STONE DUST BED WITH METAL EDGING. REGRADE SO GRADE IS COPLANER WITH EAST PORCH ON NORTH SIDE.

ADD CLEAN COMPACTED FILL, REGRADE AND SEED AT FORMER TANK.

100' WETLANDS OFFSET

ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94300 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER



MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT
SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

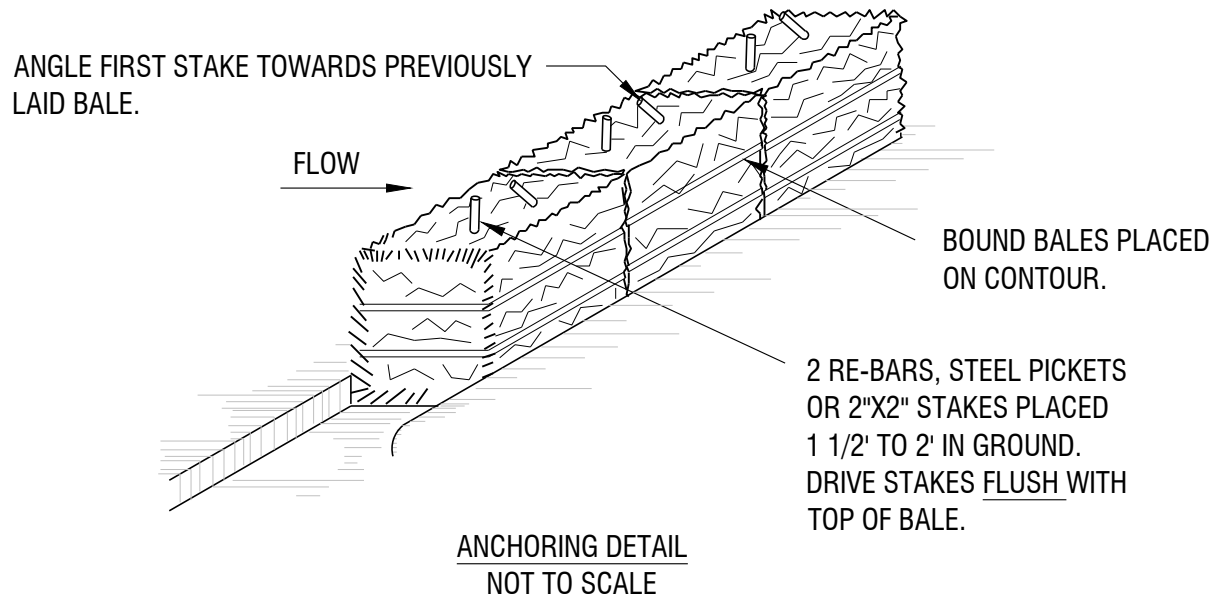
DRAWING NAME
PROJECT SITE LANDSCAPE PLAN -
CONSTRUCTION

SEAL & SIGNATURE

DATE: 06.01.2023
PROJECT No: 23-037
SCALE: AS NOTED
DRAWING BY: MT, DT
CHECKED BY: P.J. DE, SG
DWG No: L-104.00
OF ##
REGISTRATION EXPIRATION DATE: 11.01.2026
COPYRIGHT © 2024-ARCHITECTURAL, PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:29 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_small interior and exterior\02_current\23-037_3_1-500_details.dwg

DRAINAGE AREA NO MORE THAN 1/4 ACRE PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%.

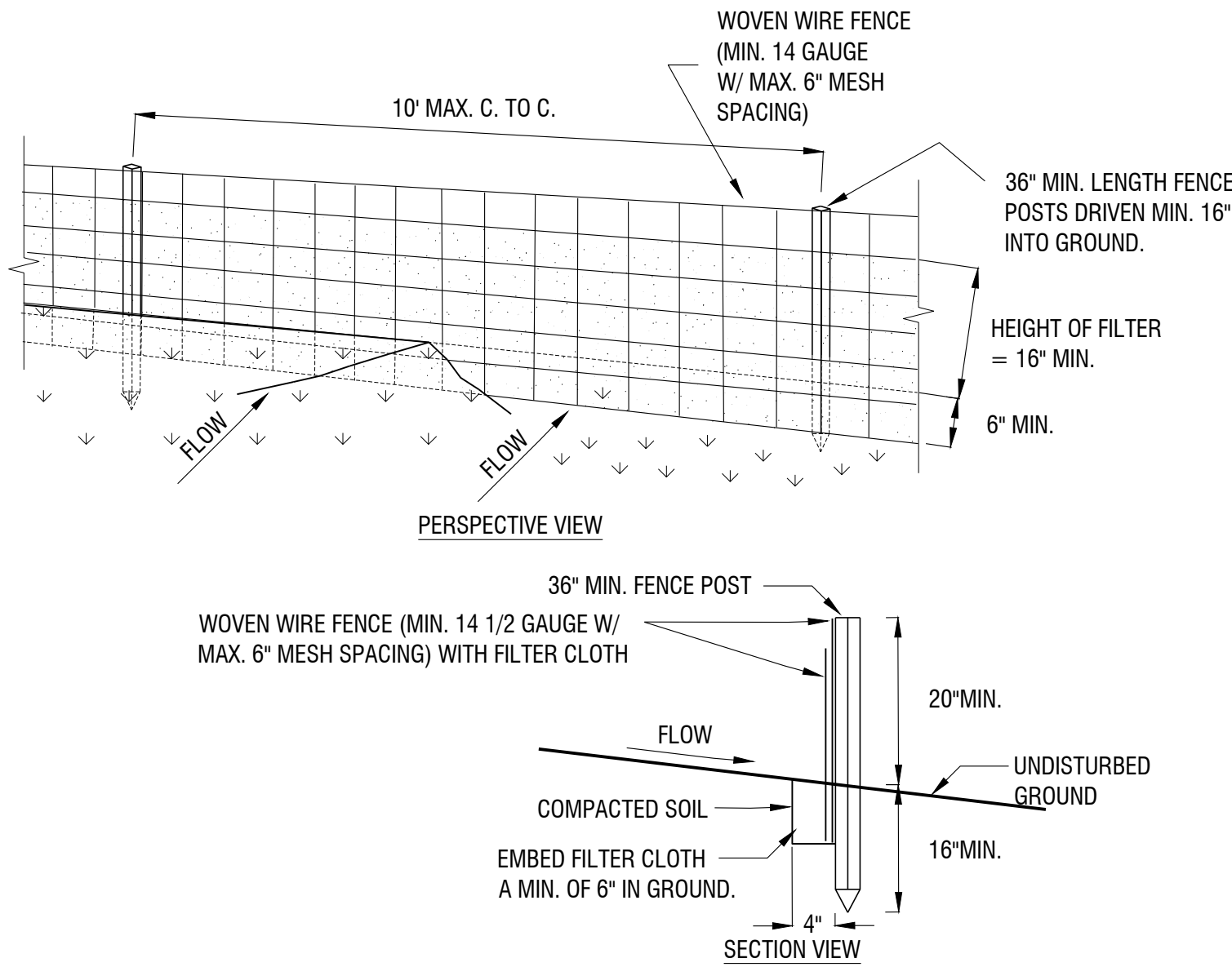


CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

1 STRAW BALE DIKE

SCALE: NTS

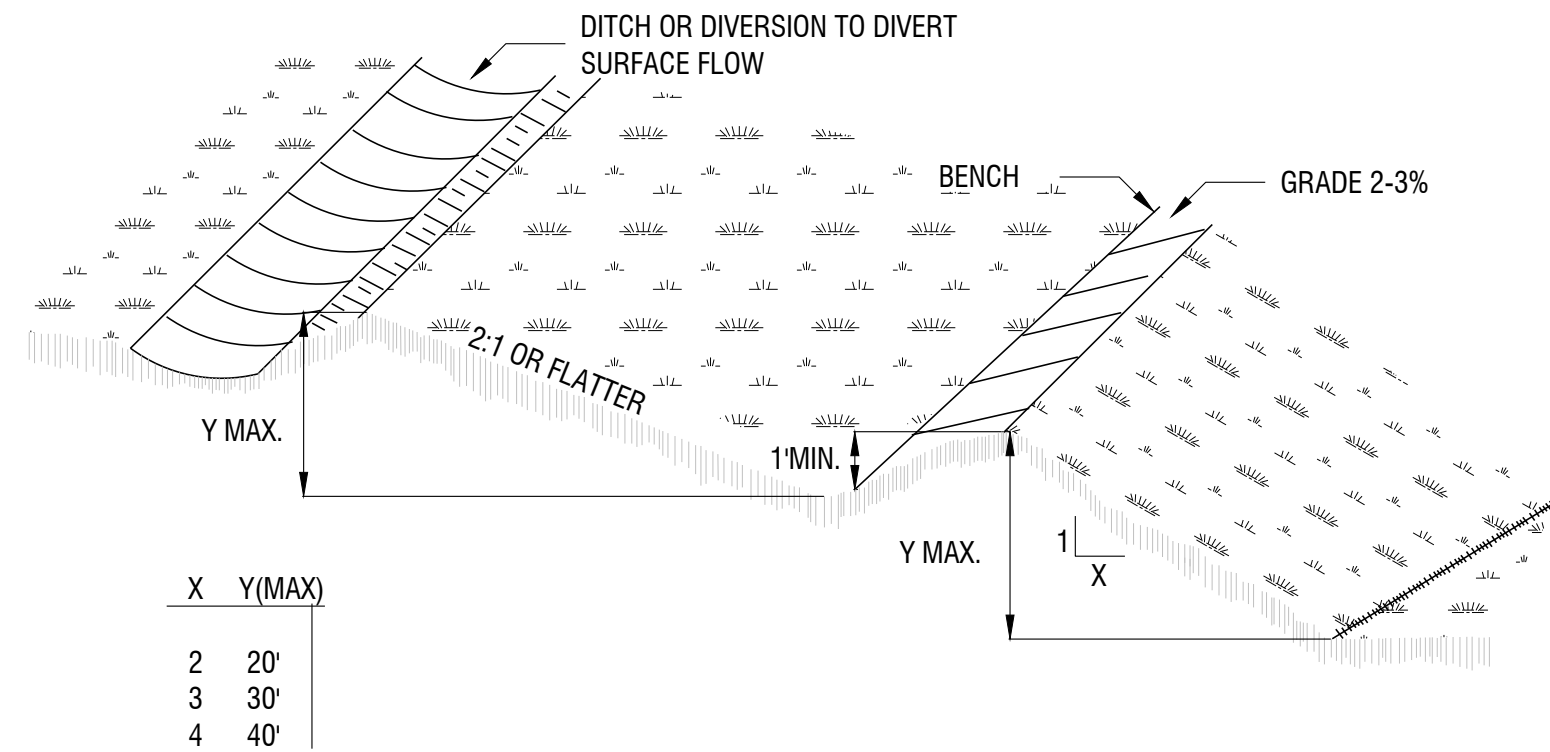


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

2 SILT FENCE

SCALE: NTS

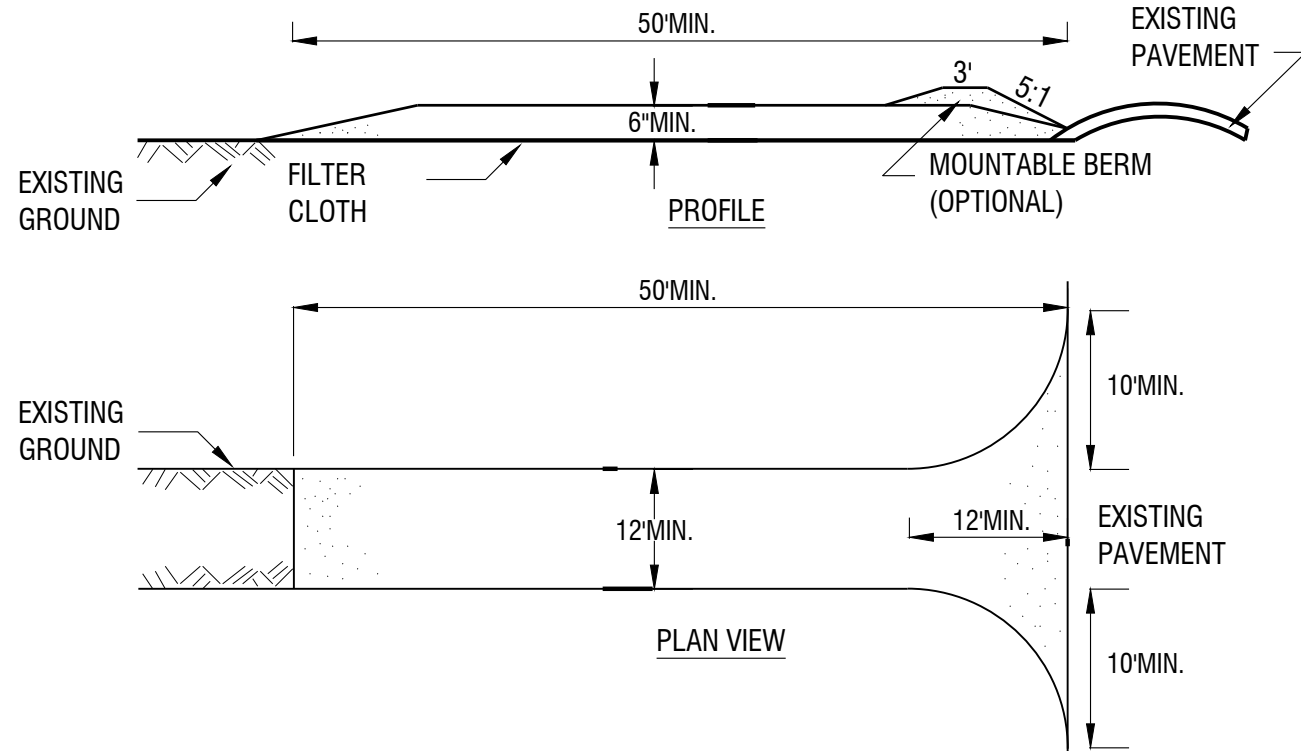


CONSTRUCTION SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

3 LANDGRADING DETAIL

SCALE: NTS

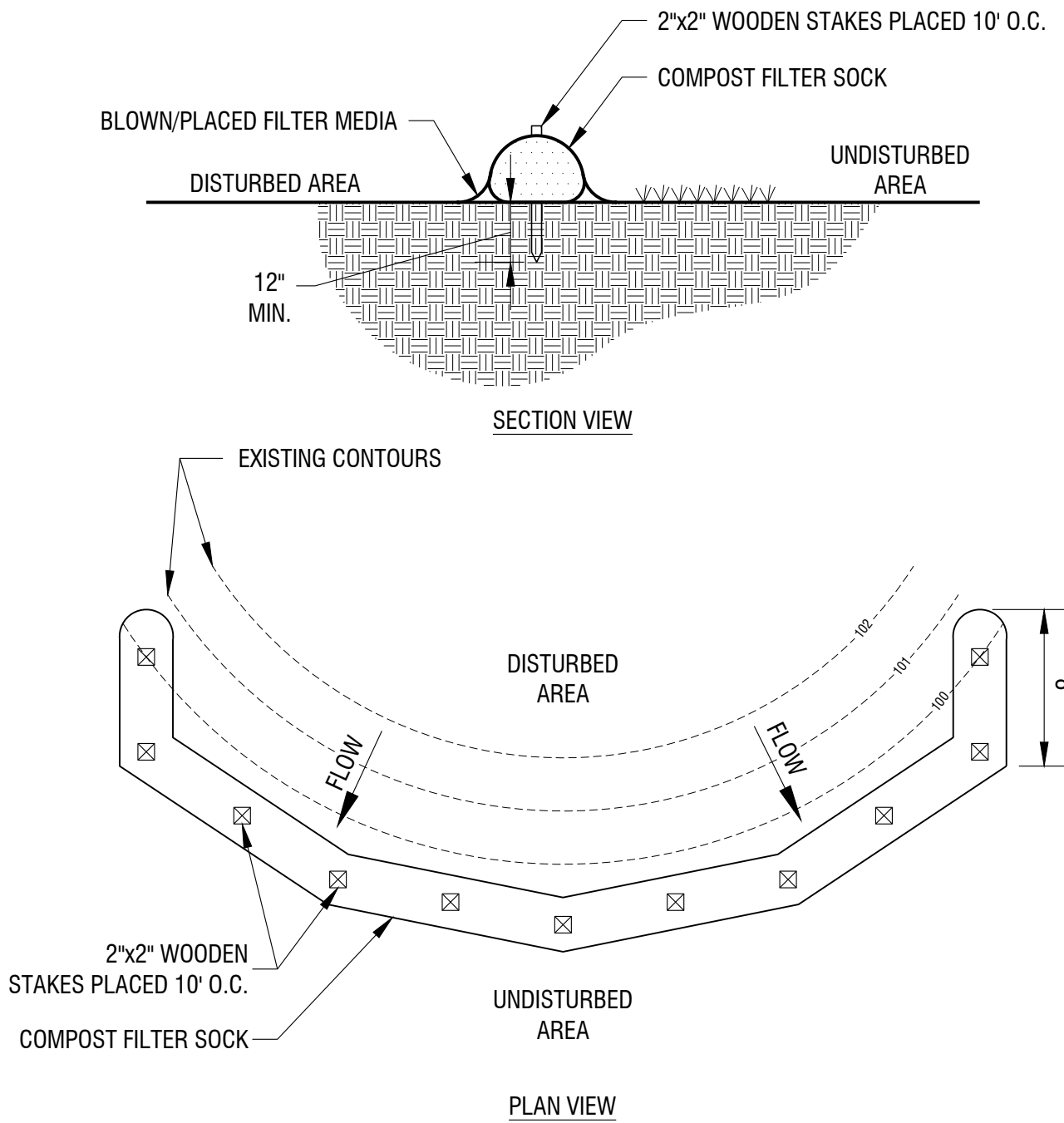


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

5 STABILIZED CONSTRUCTION ACCESS

SCALE: NTS



4 COMPOST FILTER SOCK

SCALE: NTS

ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONKSI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR. 78 RUE DE FONTENAY 94300 VINCENNES
USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SIM | 01.11.2024 |
| 3 | NYSCA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

SITE PROTECTION DETAILS

SEAL & SIGNATURE

DATE: 06.01.2023

APS PROJECT No: 23-037

SCALE: AS NOTED

DRAWING BY: MT, DT

CHECKED BY: P.J. DE, SG

DOB No: L-501.00

REGISTRATION EXPIRATION DATE: 11.02.2025

OF

REGISTERED ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

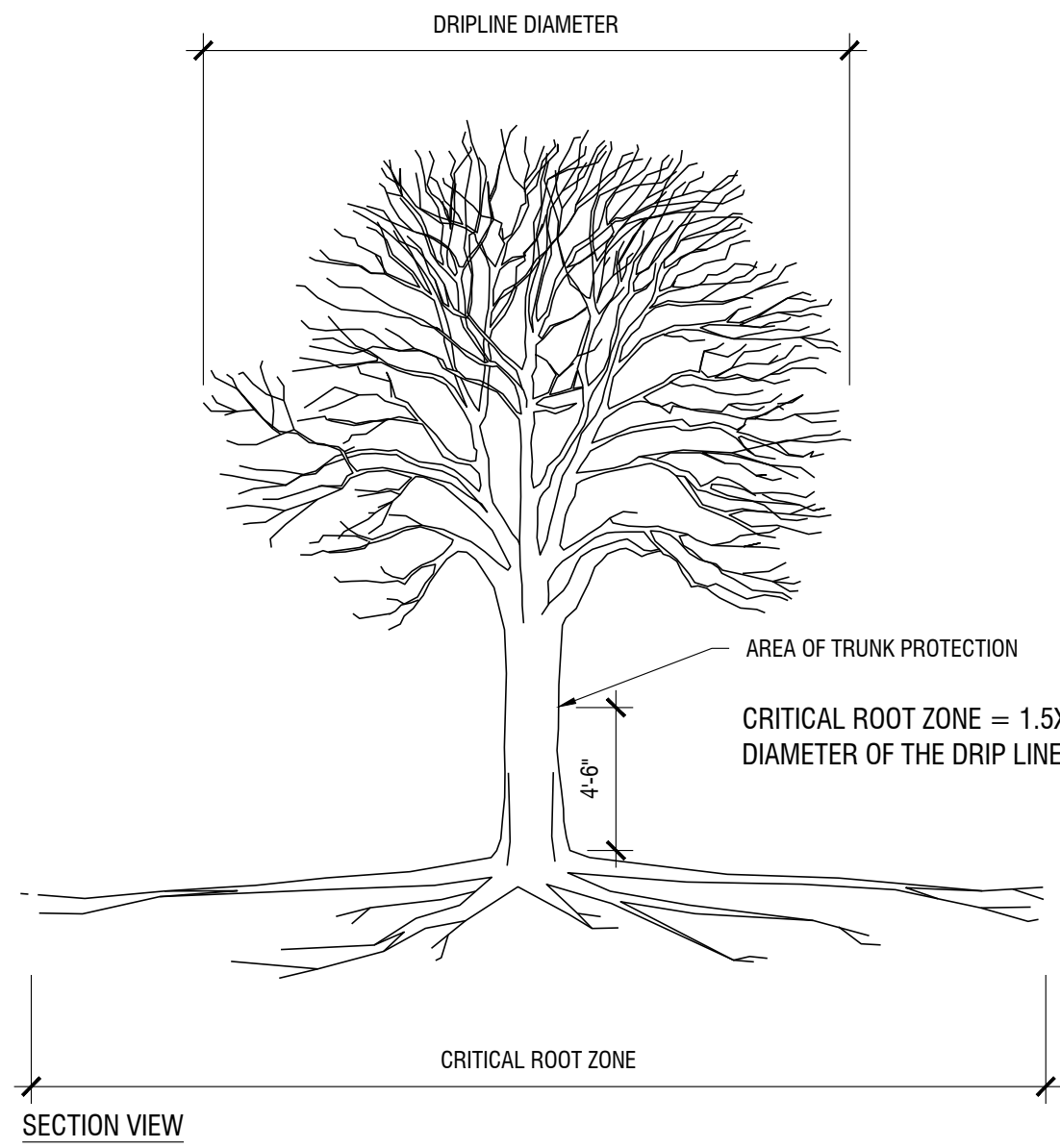
STATE OF NEW YORK

11957

REGISTRATION EXPIRATION DATE: 11.02.2025

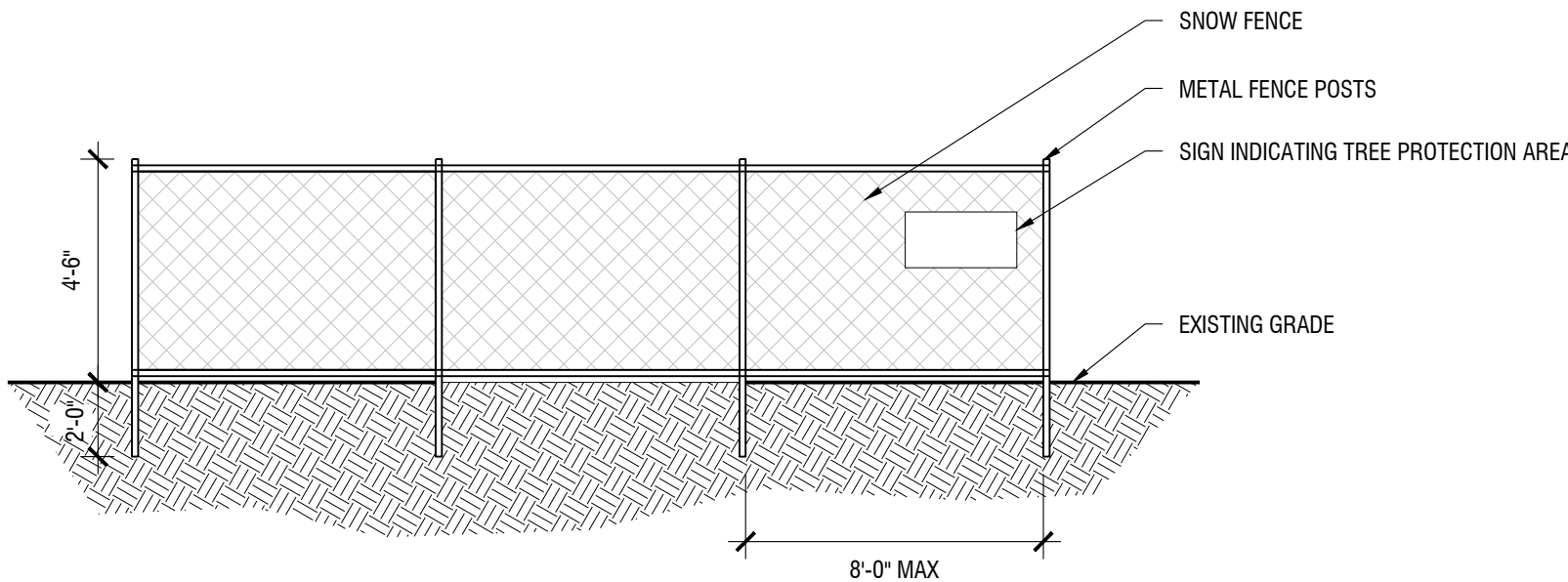
COPYRIGHT © 2024 ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:28 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior_b_drawings\02_current\23-037_3_1-500_details.dwg



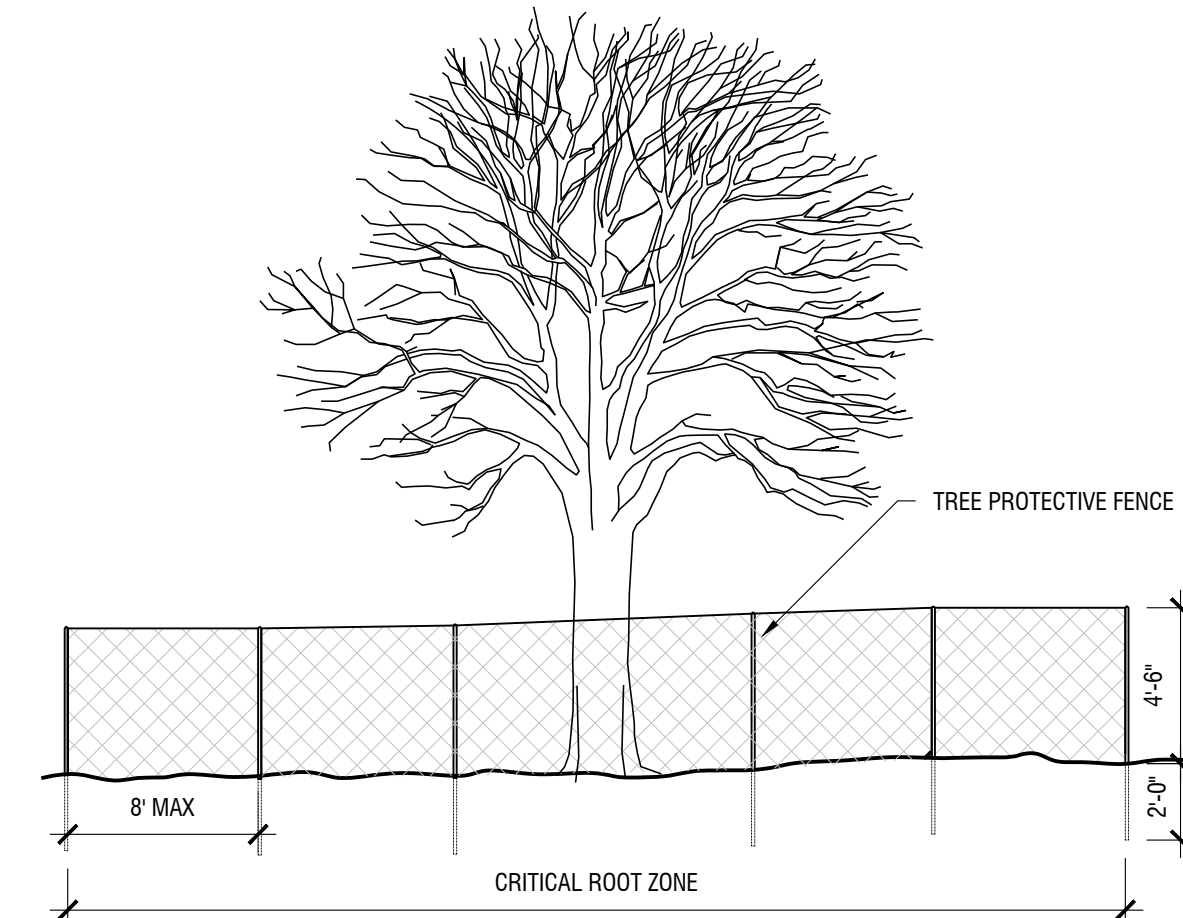
1 CRITICAL ROOT ZONE CALCULATION

SCALE: NTS

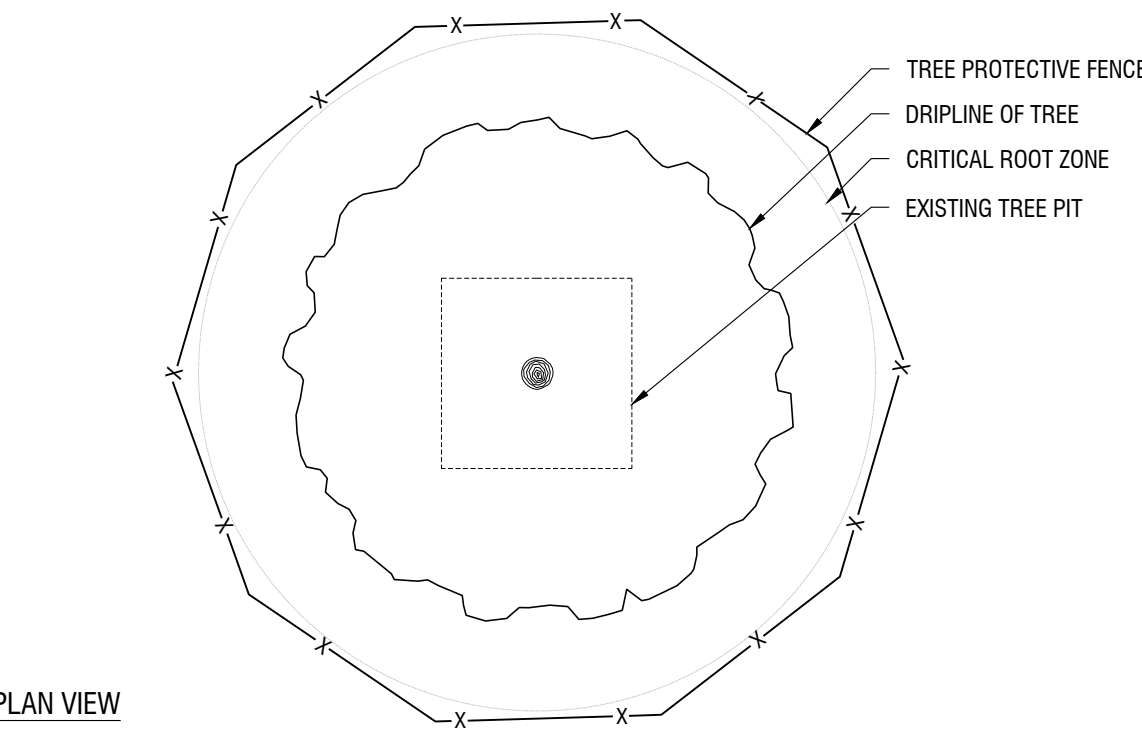


2 TREE PROTECTIVE FENCE

SCALE: NTS



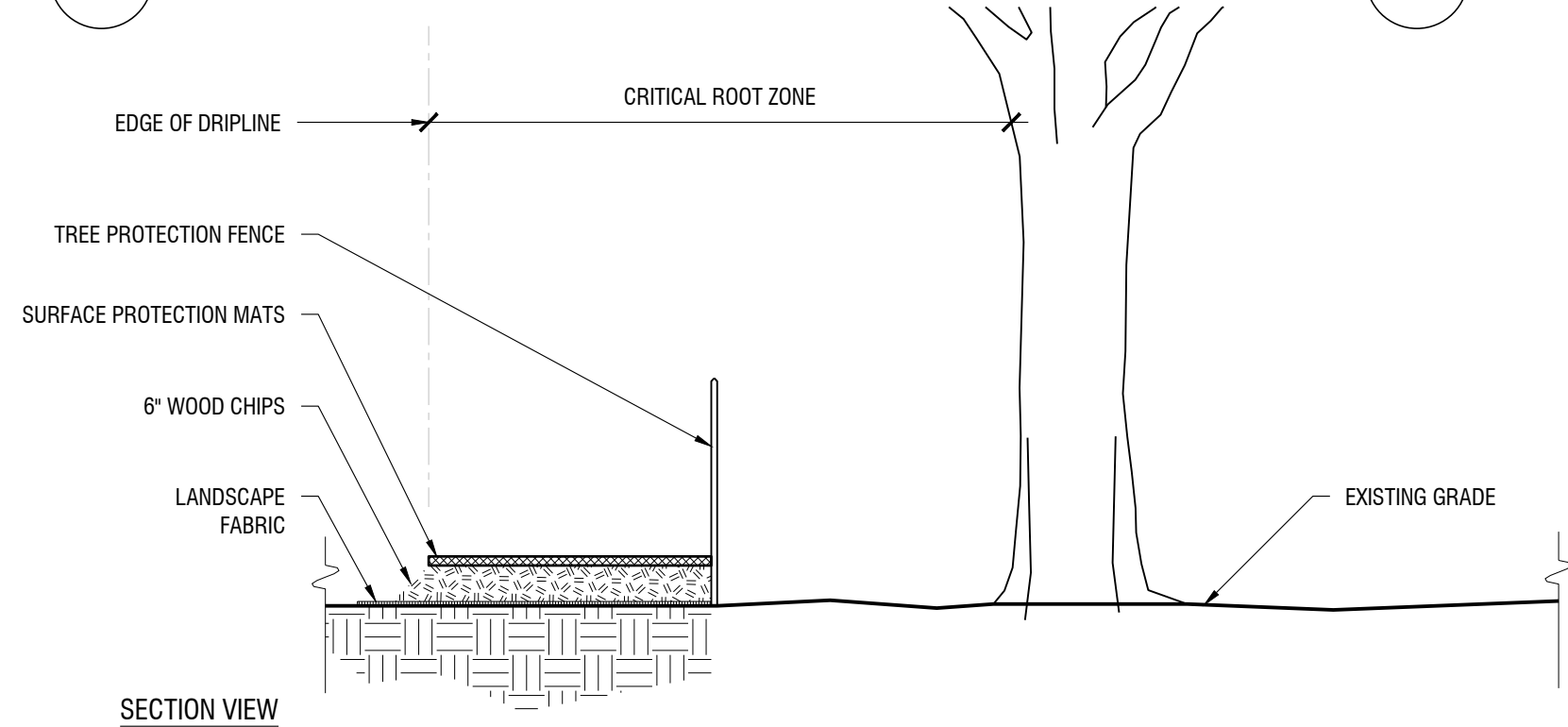
SECTION VIEW



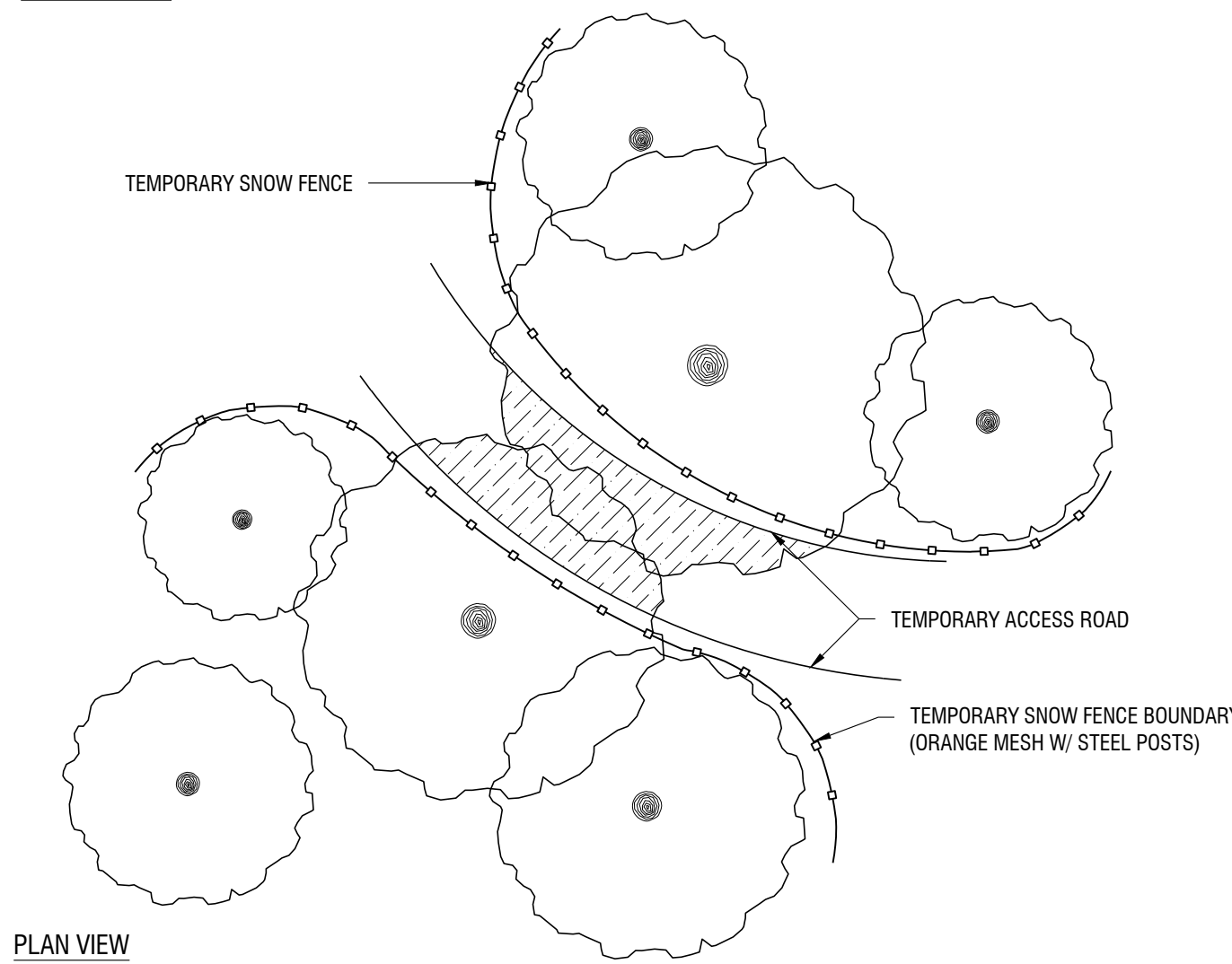
PLAN VIEW

3 TREE PROTECTIVE FENCE AT CRITICAL ROOT ZONE

SCALE: NTS



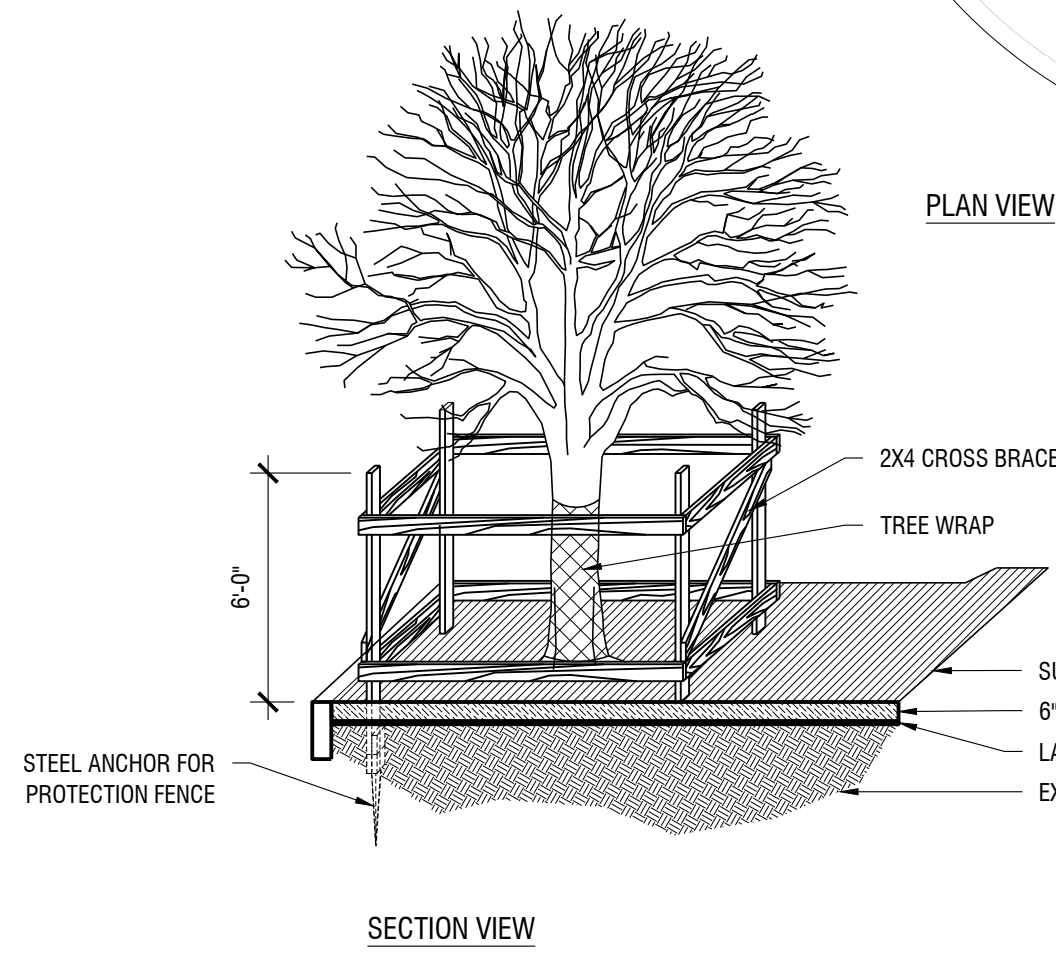
SECTION VIEW



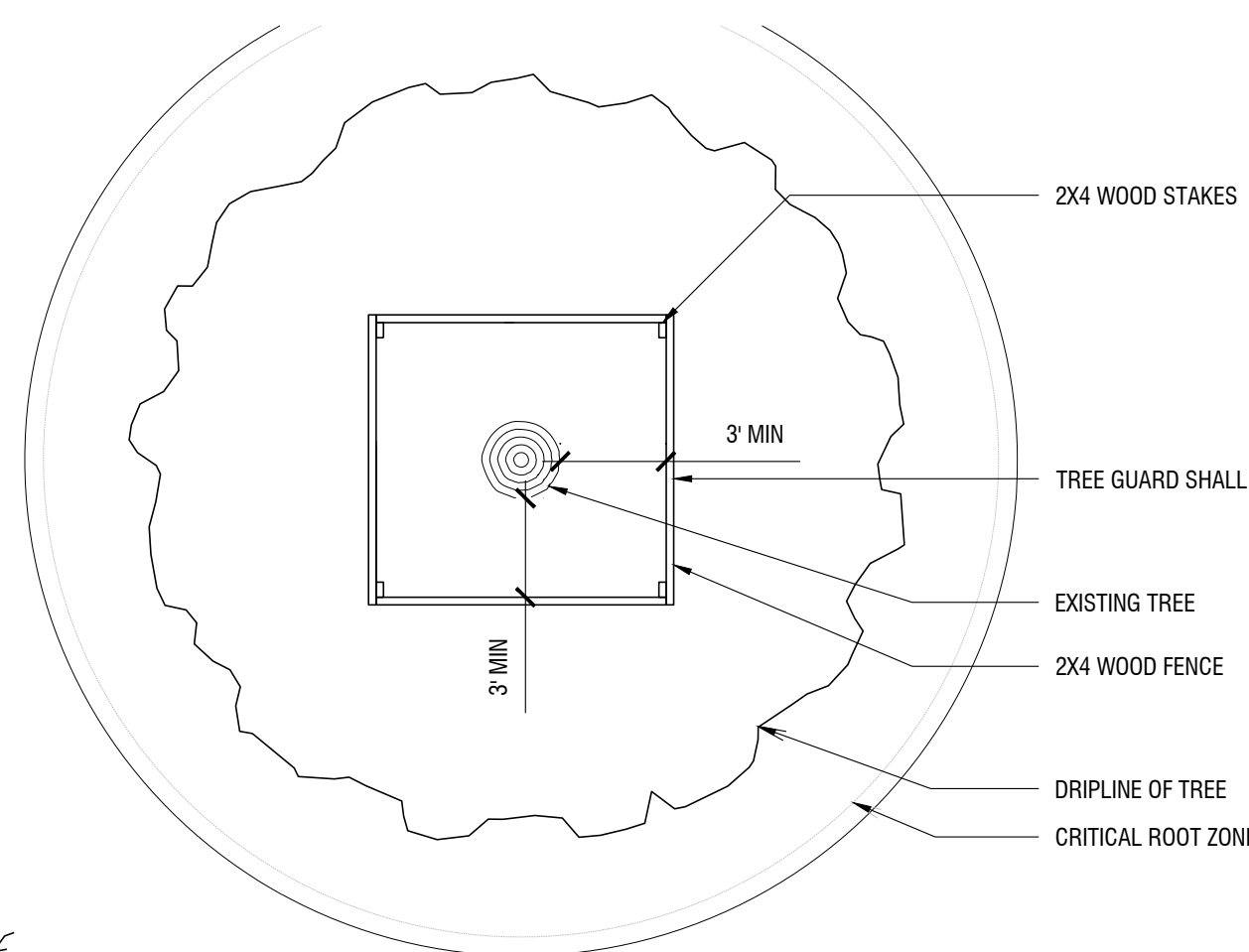
PLAN VIEW

4 TREE PROTECTIVE FENCE WITH GROUND PROTECTION

SCALE: NTS



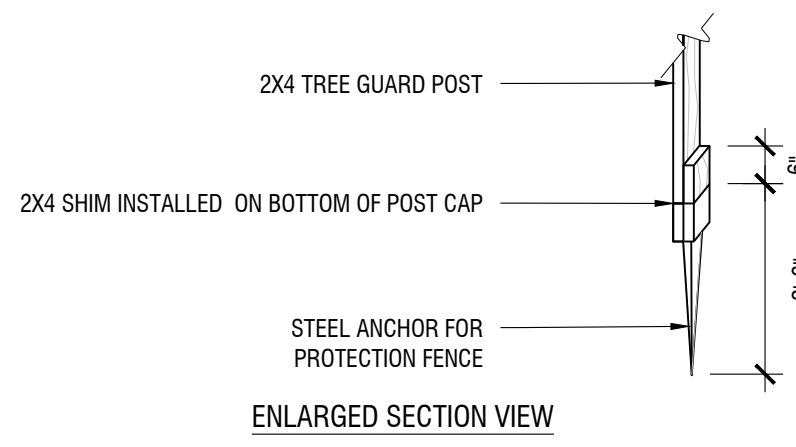
SECTION VIEW



PLAN VIEW

5 TREE GUARD WITH CRITICAL ROOT ZONE GROUND PROTECTION

SCALE: NTS



ENLARGED SECTION VIEW

- CARE SHOULD BE TAKEN TO TO DAMAGE TREES ON THE PROPERTY DURING CONSTRUCTION OPERATIONS. THE FOLLOWING MEASURES SHOULD BE USED TO PROTECT TREES AND OTHER VEGETATION FROM DAMAGE.
- SOIL COMPACTION - MINIMIZE THE USE OF HEAVY EQUIPMENT, STORAGE OF SUPPLIES AND MATERIALS, AND WORK ACTIVITIES WITHIN OR NEAR A TREE'S DRIPLINE. IF ACCESS WITHIN THE DRIPLINE IS UNAVOIDABLE, PROTECT THE SOIL FROM COMPACTION WITH INTERLOCKING HEAVY EQUIPMENT MATS, HEAVY PLYWOOD, 6" OF ORGANIC MULCH, AND/OR OTHER MATERIALS THAT HELP TO ABSORB AND DISTRIBUTE THE WEIGHT OF EQUIPMENT, TRAFFIC, OR STORAGE OF MATERIALS. IF POSSIBLE AERATE THE SOIL WITH LAWN-CORE AERATOR EQUIPMENT BEFORE, DURING AND AFTER CONSTRUCTION ACTIVITIES AND BACKFILL AERATION HOLES WITH COMPOSTED ORGANIC MATERIAL.
- SEVERING OF ROOTS - CREATE A "TREE PROTECTION ZONE" AROUND EACH HISTORIC TREE TO MINIMIZE ACCESS TO THE AREA AND PREVENT THE AREA FROM BEING EXCAVATED. USED TO STOCKPILE MATERIAL, DUMP DEBRIS, OR FOR EQUIPMENT ACCESS/STORAGE. THE PROTECTION ZONE SHOULD BE DEFINED BY A TEMPORARY FENCE APPROXIMATELY 1.5X THE TREE CANOPY DIAMETER.
- TRUNK AND LIMB INJURY - PROTECT TREE TRUNKS FROM MECHANICAL DAMAGE PRIOR TO CONSTRUCTION. IF A TREE TRUNK IS CLOSE TO THE CONSTRUCTION WORK OR STAGING AREA, WRAP THE ENTIRE TRUNK WITH 2X4 LUMBER OR OTHER PROTECTIVE MATERIAL. PLACE 2X4'S VERTICALLY, SIDE BY SIDE, AROUND THE DIAMETER OF THE TREE TRUNK AND HOLD SECURELY IN PLACE WITH STRAPPING. THIS WILL PROTECT THE TRUNK FROM POTENTIAL PHYSICAL DAMAGE FROM VEHICLES, EQUIPMENT, HAND TOOLS, OR DEBRIS BEING USED IN THE PROJECT AREA. PRIOR TO CONSTRUCTION, PULL AND TIE BACK LIMBS THAT MAY IMPEDE THE CONSTRUCTION ZONE. MINIMIZE PRUNING OR REMOVING LIMBS; EVEN LARGE LIMBS OVER 3" IN DIAMETER MAY HAVE THE FLEXIBILITY TO BE EFFECTIVELY PULLED AND TIED AWAY FROM THE WORK AREA. PROPERLY PRUNE BRANCHES OR ROOTS THAT ARE BROKEN AND/OR DAMAGED DURING CONSTRUCTION.
- LIMB BREAKAGE - PROPERLY PRUNE BRANCHES OR ROOTS THAT ARE BROKEN AND/OR DAMAGED DURING CONSTRUCTION. ANY LIMBS OR ROOTS THAT ARE DAMAGED DURING THE WORK SHOULD BE REMOVED WITH A CLEAN SAW CUT AT AN ADJOINING LIMB OR BRANCH USING GOOD PRUNING TECHNIQUES.

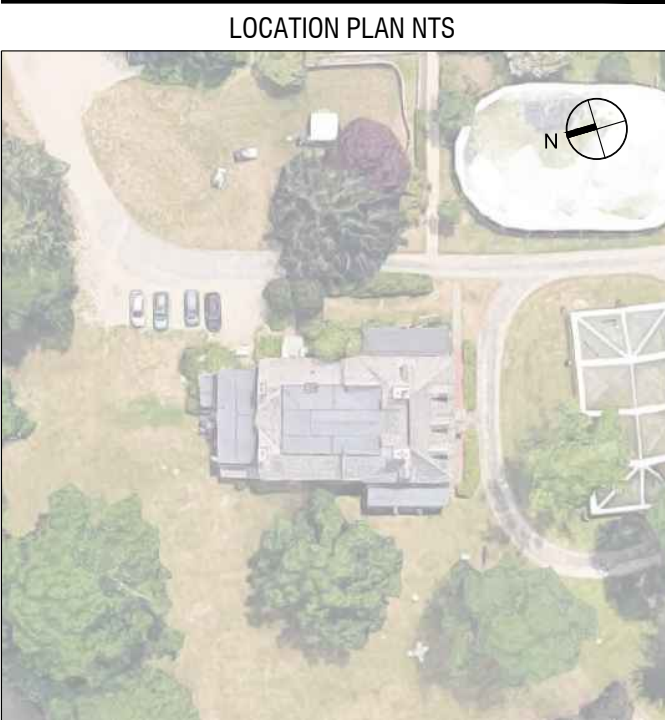
6 TREE PROTECTION SPECIFICATIONS

SCALE: NTS

| ARCHITECT | | |
|---|--|--|
| ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com | | |
| CONSULTANTS | | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | | |
| A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 | | |
| JABLONSKI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 | | |
| METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 | | |
| JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIRONMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | | |
| BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR: 78 RUE DE FONTENAY 94000 VINCENNES USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003 | | |
| F. MICHAEL HEMMER, L.S., P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | | |
| CLIENT / OWNER | | |



MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964



| LOCATION PLAN NTS | | |
|-------------------|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

| PROJECT | |
|---|--|
| SYLVESTER MANOR HOUSE EXTERIOR REHABILITATION INTERIOR REUSE 80 NORTH FERRY ROAD SHELTER ISLAND, NY 11964 | |

DRAWING NAME

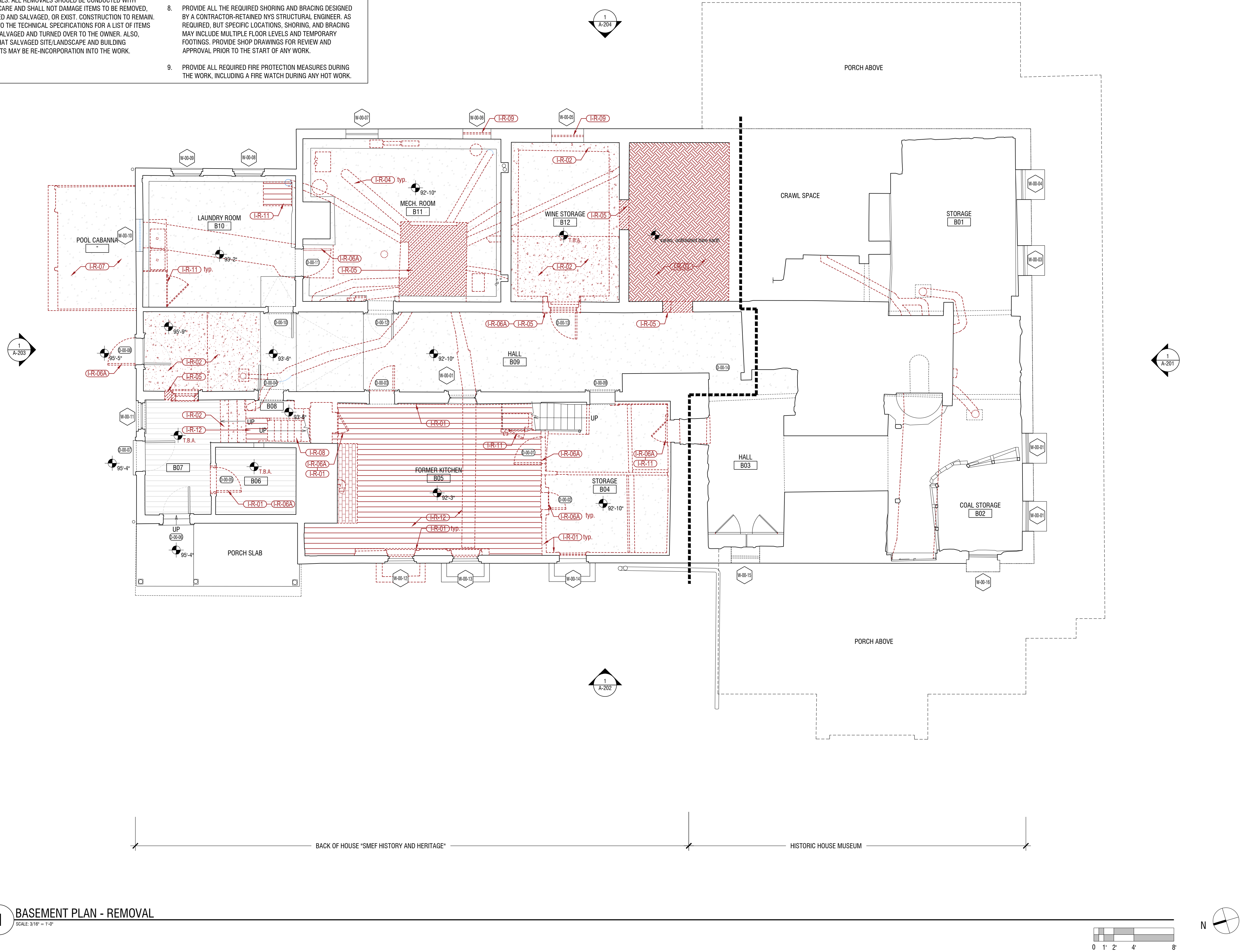
SITE PROTECTION DETAILS

| | |
|---|-------------------------|
| SEAL & SIGNATURE | DATE: 06.01.2023 |
| PROJECT No: 23-037 | SCALE: AS NOTED |
| DRAWING BY: MT, DT | CHECKED BY: P.J, DE, SG |
| DWG No: L-502.00 | DWG COUNT: # OF ## |
| REGISTRATION EXPIRATION DATE: 11/01/2026 | |
| COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED | |

PLOTTED: 1/31/2024 11:29 AM BY: ---- FILE NAME: I:\01_projects\01_architectural preservation studio\2023\23-037 small interior and exterior drawings\02 current\23-037-a-100_plans.dwg

| KEYNOTE | DESCRIPTION | GRAPHIC |
|----------|--|---------|
| (LR-01) | SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING. | |
| (LR-02) | SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMP(S)/STAIR(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-03) | EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-04) | DEMO AND REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT/FIXTURES; REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR A DETAILED SCOPE OF WORK | |
| (LR-05) | SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING. | |
| (LR-06A) | SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR EXTERIOR DOORS, THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. AS REQUIRED, PROVIDE TEMPORARY DOORS AND HARDWARE. | |
| (LR-06B) | RETAIN EXISTING SAFE DOOR. SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-07) | DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS. FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-08) | DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-09) | DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. | |
| (LR-10A) | CAREFULLY DOCUMENT AND PHOTOGRAPH EXIST. WD. DECKING THAT MAKES UP THE ATTIC FLOORING. ALL EXIST. DECKING SHALL BE NUMBERED, CAREFULLY REMOVED, INCLUDING NAILS, AND STORED FOR REINSTALLATION IN THE SAME LOCATION. DEMO AND REMOVE EXIST. CELLULOSE INSULATION, BENEATH THE ATTIC FLOOR. | |
| (LR-10B) | DEMO AND REMOVE EXIST. CELLULOSE INSULATION PLACED ON THE EXISTING WOOD CEILING FRAMING AND TOP SIDE OF PLASTER LATHE. CAREFULLY REMOVE SO NOT TO DAMAGE EXISTING ELEMENTS TO REMAIN. | |
| (LR-11) | DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, FIXTURES, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK. | |
| (LR-12) | DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK/SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: EXIST. WD. SLEEPERS AND WOOD FRAMING, WOOD AND CONCRETE SUB-FLOORING IN THROUGH-FLOOR DEMOLITION, BRICK FLOORING, WOOD FLOORING, LINOLEUM FLOORING, COMPOSITE FLOORING, TERRA-COTTA TILE FLOORING, TEMP. SUPPORTING ALL WALL FRAMING AND FINISHES THAT MAY BE SUPPORTED BY THE EXIST. FLOORING. | |
| (LR-13A) | DEMO AND REMOVE THE EXIST. CLOSET FLOORING AND WD. FRAMING AT THE UPPER LEVEL; PROVIDE ALL REQUIRED STORING AND FRAMING. REFER TO THE STRUCTURAL DWGS. FOR ADDITIONAL INFORMATION. | |
| (LR-13B) | DEMO AND REMOVE THE EXIST. FLOOR FINISH, STRUCTURAL FRAMING, AND STRUCTURAL SLAB TO CREATE AN ELEVATOR SHAFTWAY; REFER TO THE STRUCTURAL DWGS. FOR ADDITIONAL INFORMATION. | |

| INTERIOR REMOVAL GENERAL NOTES | | |
|--------------------------------|--|--|
| 1. | THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC. | 4. AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. |
| 2. | PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | 5. TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOWS, SIDINGS, AND FOUNDATIONS. |
| 3. | REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK. | 6. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. |
| | | 7. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING. |
| | | 8. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. |
| | | 9. PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. |



1 BASEMENT PLAN - REMOVAL
 SCALE: 3/16" = 1'-0"

ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONKSI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR. 78 RUE DE FONTENAY 94200 VINCENTES
USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

BASEMENT PLAN - REMOVAL

SEAL & SIGNATURE

DATE

06.01.2023

APS PROJECT No.

23-037

SCALE

AS NOTED

DRAWINGS BY

MT, DT

CHECKED BY

P.J. DE SG

DWG No.

A-101.00

DWG COUNT

OF

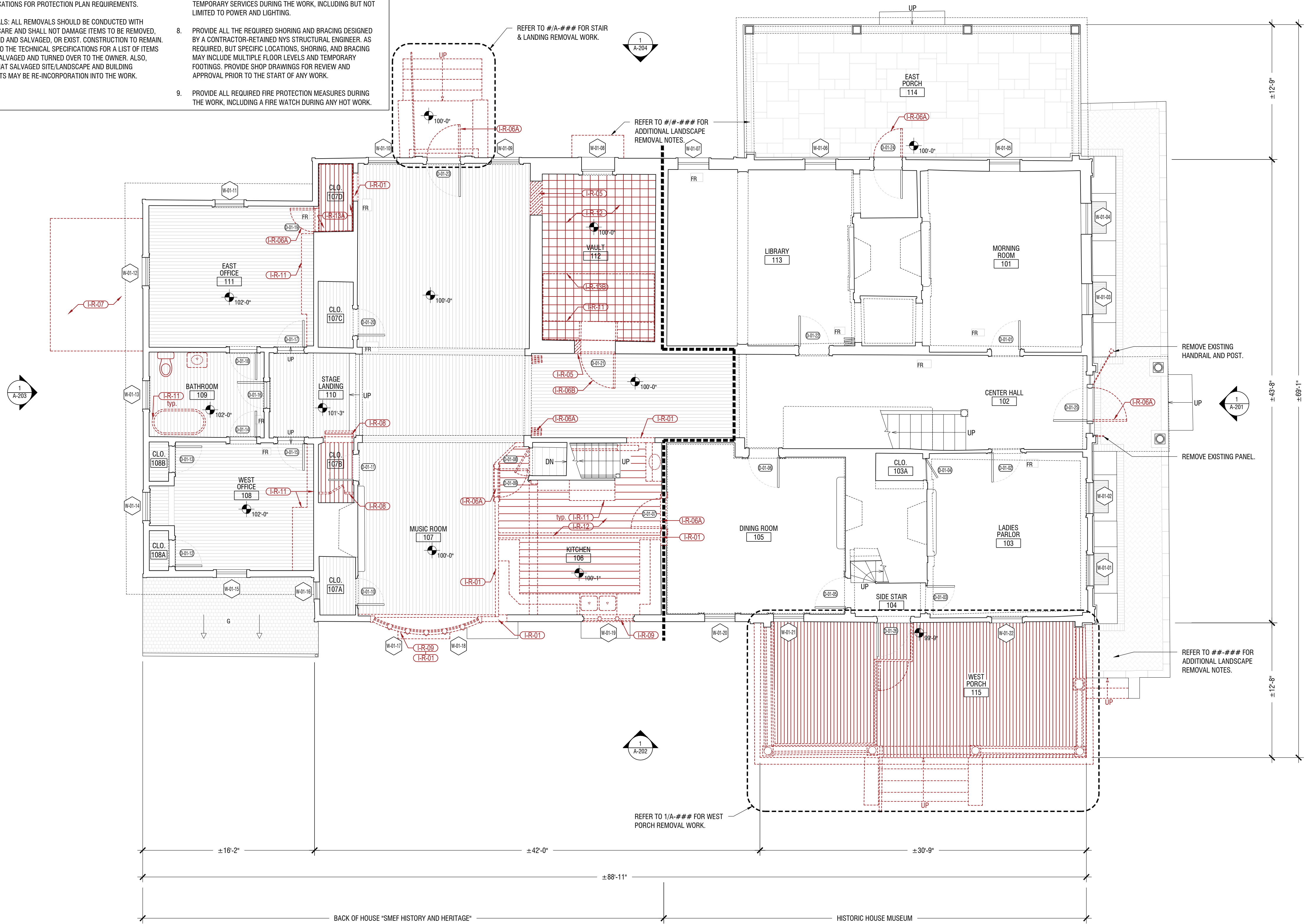
REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:26 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior_b_drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REMOVAL LEGEND | | |
|-------------------------|---|---------|
| KEYNOTE | DESCRIPTION | GRAPHIC |
| (LR-01) | SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING. | |
| (LR-02) | SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMP(S)/STAIR(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-03) | EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-04) | DEMO AND REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT/FIXTURES; REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR A DETAILED SCOPE OF WORK | |
| (LR-05) | SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING. | |
| (LR-06A) | SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR EXTERIOR DOORS, THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. AS REQUIRED, PROVIDE TEMPORARY DOORS AND HARDWARE. | |
| (LR-06B) | RETAIN EXISTING SAFE DOOR. SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-07) | DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-08) | DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-09) | DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. | |
| (LR-10A) | CAREFULLY DOUCMENT AND PHOTOGRAPH EXIST. WD. DECKING THAT MAKES UP THE ATTIC FLOORING. ALL EXIST. DECKING SHALL BE NUMBERED, CAREFULLY REMOVED, INCLUDING NAILS, AND STORED FOR REINSTALLATION IN THE SAME LOCATION. DEMO AND REMOVE EXIST. CELLULOSE INSULATION, BENEATH THE ATTIC FLOOR. | |
| (LR-10B) | DEMO AND REMOVE EXIST. CELLULOSE INSULATION PLACED ON THE EXISTING WOOD CEILING FRAMING AND TOP SIDE OF PLASTER LATHE. CAREFULLY REMOVE SO NOT TO DAMAGE EXISTING ELEMENTS TO REMAIN. | |
| (LR-11) | DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, FIXTURES, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK. | |
| (LR-12) | DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: EXIST. WD. SLEEPERS AND WOOD FRAMING, WOOD AND CONCRETE SUB-FLOORING IN THROUGH-FLOOR DEMOLITION, BRICK FLOORING, WOOD FLOORING, LINOLEUM FLOORING, COMPOSITE FLOORING, TERRA-COTTA TILE FLOORING, TEMP. SUPPORTING ALL WALL FRAMING AND FINISHES THAT MAY BE SUPPORTED BY THE EXIST. FLOORING. | |
| (LR-13A) | DEMO AND REMOVE THE EXIST. CLOSET FLOORING AND WD. FRAMING AT THE UPPER LEVEL; PROVIDE ALL REQUIRED STORING AND FRAMING. REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |
| (LR-13B) | DEMO AND REMOVE THE EXIST. FLOOR FINISH, STRUCTURAL FRAMING, AND STRUCTURAL SLAB TO CREATE AN ELEVATOR SHAFTWAY; REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |

- INTERIOR REMOVAL GENERAL NOTES
- THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC.
 - PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS.
 - REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK.
 - AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION.
 - TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOW, SIDINGS, AND FOUNDATIONS.
 - REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS.
 - THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING.
 - PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK.
 - PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK.



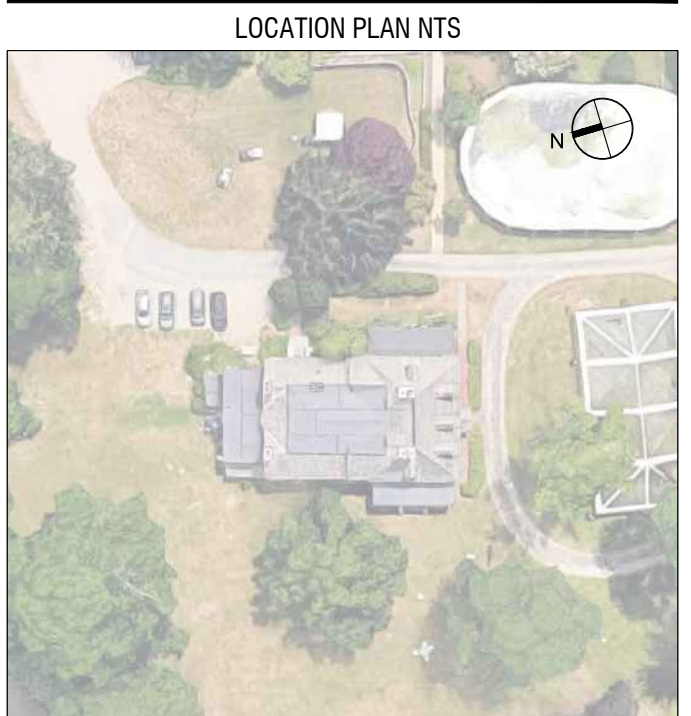
1 FIRST FLOOR PLAN - REMOVAL
SCALE: 3/16" = 1'-0"

| ARCHITECT | | |
|---|--|--|
| ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com | | |
| CONSULTANTS | | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | | |
| A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 | | |
| JABLONSKI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 | | |
| METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 | | |
| JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIRONMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | | |
| BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR. 78 RUE DE FONTENAY 94200 VINCENTES USA; 417 LAFAYETTE STREET, FLOOR 8 NEW YORK, NY 10003 | | |
| F. MICHAEL HEMMER, L.S. P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | | |

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

FIRST FLOOR PLAN - REMOVAL

SEAL & SIGNATURE

DATE: 06.01.2023

APS PROJECT No: 23-037

SCALE: AS NOTED

DRAWINGS BY: MT, DT

CHECKED BY: P.J. DE SG

DWG No: A-102.00

DWG COUNT: # OF ##

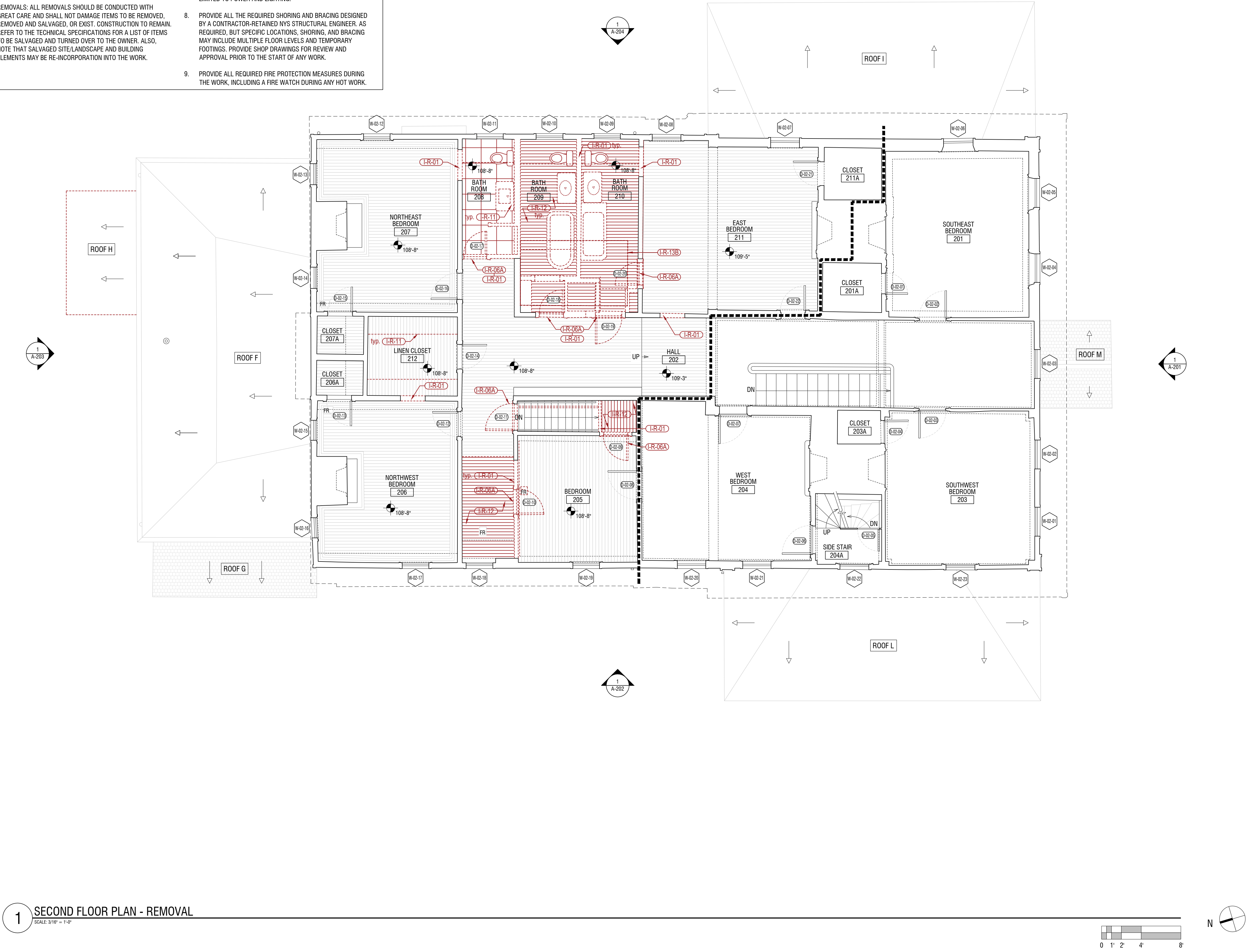
REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

1/31/2024 11:29 AM BY: ---- FILE NAME: I:\01_projects\01_architectural preservation studio\2023\23-037 small interior and exterior drawings\02 current\23-037-a-100_plans.dwg PLOTTED: 1/31/2024 11:29 AM BY: ----

| INTERIOR REMOVAL LEGEND | | |
|-------------------------|--|---------|
| KEYNOTE | DESCRIPTION | GRAPHIC |
| (LR-01) | SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING. | |
| (LR-02) | SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMP(S)/STAIR(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS ARCHEOLOGIST. | |
| (LR-03) | EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS ARCHEOLOGIST. | |
| (LR-04) | DEMO AND REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT/FIXTURES; REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR A DETAILED SCOPE OF WORK | |
| (LR-05) | SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING. | |
| (LR-06A) | SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR EXTERIOR DOORS, THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. AS REQUIRED, PROVIDE TEMPORARY DOORS AND HARDWARE. | |
| (LR-06B) | RETAIN EXISTING SAFE DOOR. SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-07) | DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS ARCHEOLOGIST. | |
| (LR-08) | DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-09) | DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. | |
| (LR-10A) | CAREFULLY DOUCMENT AND PHOTOGRAPH EXIST. WD. DECKING THAT MAKES UP THE ATTIC FLOORING. ALL EXIST. DECKING SHALL BE NUMBERED, CAREFULLY REMOVED, INCLUDING NAILS, AND STORED FOR REINSTALLATION IN THE SAME LOCATION. DEMO AND REMOVE EXIST. CELLULOSE INSULATION, BENEATH THE ATTIC FLOOR. | |
| (LR-10B) | DEMO AND REMOVE EXIST. CELLULOSE INSULATION PLACED ON THE EXISTING WOOD CEILING FRAMING AND TOP SIDE OF PLASTER LATHE. CAREFULLY REMOVE SO NOT TO DAMAGE EXISTING ELEMENTS TO REMAIN. | |
| (LR-11) | DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, FIXTURES, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK. | |
| (LR-12) | DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: EXIST. WD. SLEEPERS AND WOOD FRAMING, WOOD AND CONCRETE SUB-FLOORING IN THROUGH-FLOOR DEMOLITION, BRICK FLOORING, WOOD FLOORING, LINOLEUM FLOORING, COMPOSITE FLOORING, TERRA-COTTA TILE FLOORING, TEMP. SUPPORTING ALL WALL FRAMING AND FINISHES THAT MAY BE SUPPORTED BY THE EXIST. FLOORING. | |
| (LR-13A) | DEMO AND REMOVE THE EXIST. CLOSET FLOORING AND WD. FRAMING AT THE UPPER LEVEL; PROVIDE ALL REQUIRED STORING AND FRAMING. REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |
| (LR-13B) | DEMO AND REMOVE THE EXIST. FLOOR FINISH, STRUCTURAL FRAMING, AND STRUCTURAL SLAB TO CREATE AN ELEVATOR SHAFTWAY; REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |

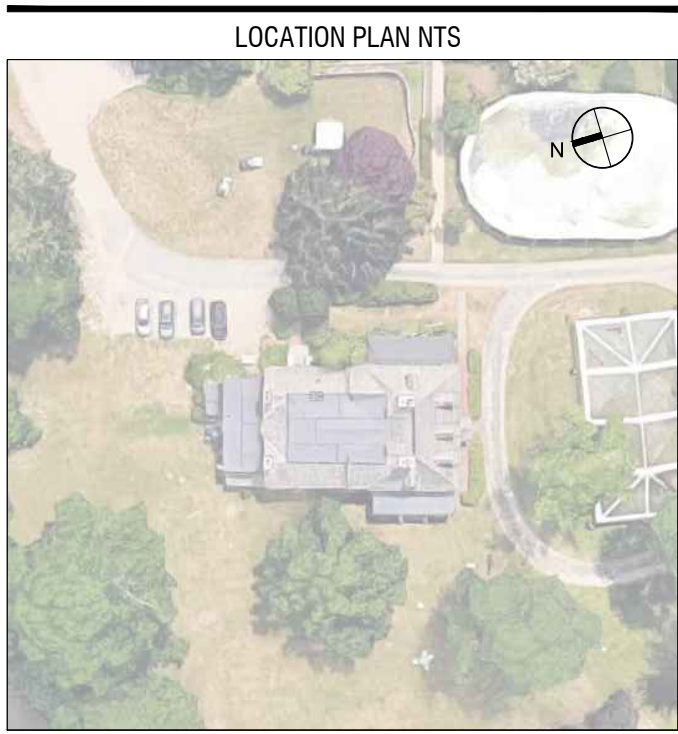
| INTERIOR REMOVAL GENERAL NOTES | | |
|--------------------------------|--|--|
| 1. | THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC. | 4. AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. |
| 2. | PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | 5. TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOWS, SIDINGS, AND FOUNDATIONS. |
| 3. | REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK. | 6. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. |
| | | 7. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING. |
| | | 8. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. |
| | | 9. PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. |



1 SECOND FLOOR PLAN - REMOVAL
SCALE: 3/16" = 1'-0"

| ARCHITECT | | |
|---|--|--|
| ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com | | |
| CONSULTANTS | | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | | |
| A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 | | |
| JABLONSKI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 | | |
| METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 | | |
| JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIRONMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | | |
| BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR. 78 RUE DE FONTENAY 94200 VINCENTES USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003 | | |
| F. MICHAEL HEMMER, L.S., P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | | |

| CLIENT / OWNER | | |
|--|--|--|
| SYLVESTER MANOR MAILING ADDRESS: P.O. BOX 229 SHELTER ISLAND, NY 11964 | | |



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

| DOB JOB # | | |
|-------------|--|--|
| DOB STICKER | | |

| PROJECT | | |
|---|--|--|
| SYLVESTER MANOR HOUSE EXTERIOR REHABILITATION INTERIOR REUSE 80 NORTH FERRY ROAD SHELTER ISLAND, NY 11964 | | |

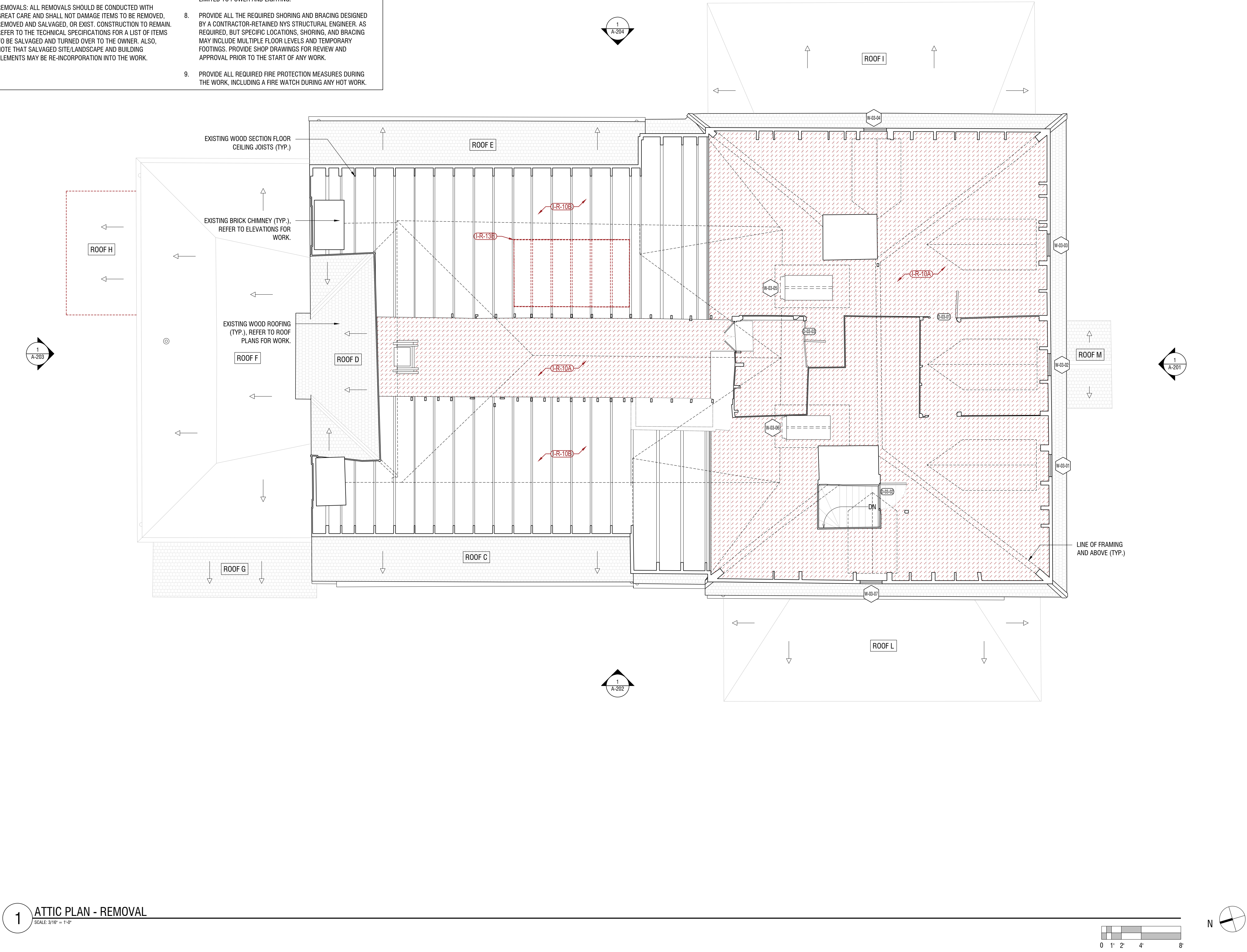
| DRAWING NAME | | |
|-----------------------------|--|--|
| SECOND FLOOR PLAN - REMOVAL | | |

| | | |
|---|-----------------|-------------|
| | DATE: | 06.01.2023 |
| | APS PROJECT No: | 23-037 |
| | SCALE: | AS NOTED |
| | DRAWINGS BY: | MT, DT |
| | CHECKED BY: | P.J. DE, SG |
| | DWG No: | A-103.00 |
| REGISTRATION EXPIRATION DATE: 11/30/2026 | | # OF ## |
| COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED | | |

PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural\preservation\studio\2023\23-037_small interior and exterior drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REMOVAL LEGEND | | |
|-------------------------|---|---------|
| KEYNOTE | DESCRIPTION | GRAPHIC |
| (LR-01) | SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING. | |
| (LR-02) | SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMP(S)/STAIR(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-03) | EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-04) | DEMO AND REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT/FIXTURES; REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR A DETAILED SCOPE OF WORK | |
| (LR-05) | SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING. | |
| (LR-06A) | SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR EXTERIOR DOORS, THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. AS REQUIRED, PROVIDE TEMPORARY DOORS AND HARDWARE. | |
| (LR-06B) | RETAIN EXISTING SAFE DOOR. SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-07) | DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-08) | DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-09) | DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. | |
| (LR-10A) | CAFULLY DOUCMENT AND PHOTOGRAPH EXIST. WD. DECKING THAT MAKES UP THE ATTIC FLOORING. ALL EXIST. DECKING SHALL BE NUMBERED, CAREFULLY REMOVED, INCLUDING NAILS, AND STORED FOR REINSTALLATION IN THE SAME LOCATION. DEMO AND REMOVE EXIST. CELLULOSE INSULATION, BENEATH THE ATTIC FLOOR. | |
| (LR-10B) | DEMO AND REMOVE EXIST. CELLULOSE INSULATION PLACED ON THE EXISTING WOOD CEILING FRAMING AND TOP SIDE OF PLASTER LATHE. CAREFULLY REMOVE SO NOT TO DAMAGE EXISTING ELEMENTS TO REMAIN. | |
| (LR-11) | DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, FIXTURES, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK. | |
| (LR-12) | DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: EXIST. WD. SLEEPERS AND WOOD FRAMING, WOOD AND CONCRETE SUB-FLOORING IN THROUGH-FLOOR DEMOLITION, BRICK FLOORING, WOOD FLOORING, LINOLEUM FLOORING, COMPOSITE FLOORING, TERRA-COTTA TILE FLOORING, TEMP. SUPPORTING ALL WALL FRAMING AND FINISHES THAT MAY BE SUPPORTED BY THE EXIST. FLOORING. | |
| (LR-13A) | DEMO AND REMOVE THE EXIST. CLOSET FLOORING AND WD. FRAMING AT THE UPPER LEVEL; PROVIDE ALL REQUIRED STORING AND FRAMING. REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |
| (LR-13B) | DEMO AND REMOVE THE EXIST. FLOOR FINISH, STRUCTURAL FRAMING, AND STRUCTURAL SLAB TO CREATE AN ELEVATOR SHAFTWAY; REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |

| INTERIOR REMOVAL GENERAL NOTES | | |
|--------------------------------|--|--|
| 1. | THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC. | 4. AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. |
| 2. | PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | 5. TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOW, SIDINGS, AND FOUNDATIONS. |
| 3. | REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK. | 6. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. |
| | | 7. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING. |
| | | 8. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. |
| | | 9. PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. |



ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012

212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)

50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)

34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)

40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)

22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)

243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)

FR. 78 RUE DE FONTENAY 94300 VINCENTES
USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S. P.C.
(LAND SURVEYOR)

3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| 5 | DOB FILING | 01.31.2024 |
|-----|-----------------------------|------------|
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ATTIC PLAN - REMOVAL

SEAL & SIGNATURE

REGISTERED ARCHITECT

ANGELA S. JEROME

21957

STATE OF NEW YORK

DATE

06.01.2023

APS PROJECT No.

23-037

SCALE

AS NOTED

DRAWING BY

MT, DT

CHECKED BY

P.J, DE, SG

DWG No.

A-104.00

DWG COUNT

OF

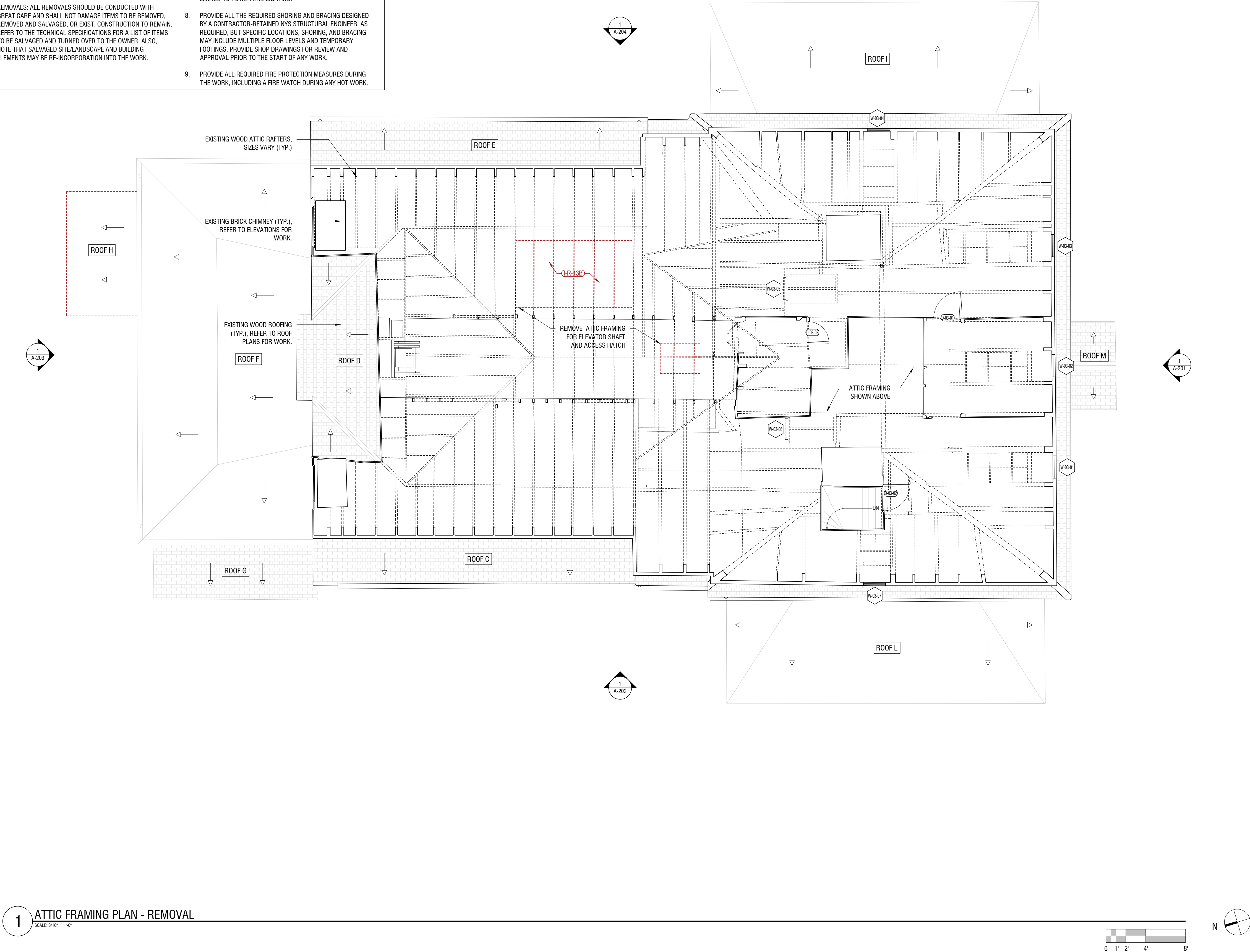
REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 1:53 AM BY: ---- FILE NAME: i:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior_b_drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REMOVAL LEGEND | | |
|-------------------------|---|---------|
| KEYNOTE | DESCRIPTION | GRAPHIC |
| (LR-01) | SELECTIVELY DEMO AND REMOVE EXIST. PARTITION WALL(S) (MASONRY OR WOOD), INCLUDING BUT NOT LIMITED TO FRAMING, FINISHES, DOOR FRAME AND SADDLE, DOOR LEAF(S), AND HARDWARE. REFER TO TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. PROVIDE ALL THE REQUIRED TEMPORARY SHORING AND BRACING. | |
| (LR-02) | SELECTIVELY EXCAVATE/REMOVE EXIST. CONCRETE FLOORING, PERIMETER HAUNCHES, AND FOOTINGS FOR ELEVATOR PIT AND SLAB(S)/RAMP(S)/STAIR(S). PROVIDE ALL REQUIRED SHORING AND BRACING. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-03) | EXCAVATE/REMOVE EXIST. SOIL. PROVIDE ALL REQUIRED SHORING AND BRACING OF EXISTING WALLS, INCLUDING STONE FOUNDATIONS AND BRICK CHIMNEYS. REFER TO THE STRUCTURAL DWGS. FOR MORE INFORMATION. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-04) | DEMO AND REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT/FIXTURES; REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR A DETAILED SCOPE OF WORK | |
| (LR-05) | SELECTIVELY DEMO AND REMOVE MASONRY WALL FOR OPENING. | |
| (LR-06A) | SELECTIVELY DEMO AND REMOVE EXIST. WOOD DOOR/STORM DOOR, DOOR FRAME, AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. FOR EXTERIOR DOORS, THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. AS REQUIRED, PROVIDE TEMPORARY DOORS AND HARDWARE. | |
| (LR-06B) | RETAIN EXISTING SAFE DOOR. SELECTIVELY DEMO AND REMOVE THE EXIST. DOOR FRAME AND THRESHOLD AS REQUIRED FOR WORK. REFER TO THE DOOR SCHEDULE AND ELEVATOR DRAWINGS FOR WORK. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-07) | DEMO AND REMOVE THE EXIST. POOL CABANA STRUCTURE, INCLUDING AND NOT LIMITED TO THE CONCRETE SLAB AND FOOTINGS, WALLS, ROOF, AND PLUMBING AND ELECTRICAL FIXTURES AND LINES. REFER TO THE PLUMBING AND ELECTRICAL DWGS FOR MORE INFORMATION. REFER TO THE TECHNICAL SPECIFICATIONS FOR ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. COORDINATE ALL SUB-GRADE DISTURBANCE WORK SHALL BE COORDINATED WITH THE OWNERS' ARCHEOLOGIST. | |
| (LR-08) | DEMO AND REMOVE EXIST. WD. STAIRS, INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, RAILINGS HARDWARE, WALLS, AND FLOORING. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. | |
| (LR-09) | DEMO AND REMOVE EXIST. WINDOW(S), WINDOW FRAME(S), SILL(S) AND STOOL(S). REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE SITE AND LANDSCAPE PLANS FOR REMOVAL WORK ASSOCIATED WITH WINDOW WELLS AND ASSOCIATED SITE FEATURES. THE CONTRACTOR SHALL ENSURE THAT THE BASE BUILDING IS WATER-TIGHT AT ALL TIMES. | |
| (LR-10A) | CAREFULLY DOUCMENT AND PHOTOGRAPH EXIST. WD. DECKING THAT MAKES UP THE ATTIC FLOORING. ALL EXIST. DECKING SHALL BE NUMBERED, CAREFULLY REMOVED, INCLUDING NAILS, AND STORED FOR REINSTALLATION IN THE SAME LOCATION. DEMO AND REMOVE EXIST. CELLULOSE INSULATION, BENEATH THE ATTIC FLOOR. | |
| (LR-10B) | DEMO AND REMOVE EXIST. CELLULOSE INSULATION PLACED ON THE EXISTING WOOD CEILING FRAMING AND TOP SIDE OF PLASTER LATHE. CAREFULLY REMOVE SO NOT TO DAMAGE EXISTING ELEMENTS TO REMAIN. | |
| (LR-11) | DEMO AND REMOVE EXIST. INCLUDING, BUT NOT LIMITED TO, BUILT-IN ARCHITECTURAL MILLWORK, PLATFORMS, COUNTERS, FIXTURES, CHAIR LIFT, ETC. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO SALVAGED AND TURNED OVER TO THE OWNER. REFER TO THE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DWGS. FOR ADDITIONAL WORK. | |
| (LR-12) | DEMO AND REMOVE THE EXIST. FINISH FLOOR AND SUPPORT STRUCTURE DOWN TO THE EXIST. CONCRETE OR WOOD DECK SUB-FLOOR. REMOVALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: EXIST. WD. SLEEPERS AND WOOD FRAMING, WOOD AND CONCRETE SUB-FLOORING IN THROUGH-FLOOR DEMOLITION, BRICK FLOORING, WOOD FLOORING, LINOLEUM FLOORING, COMPOSITE FLOORING, TERRA-COTTA TILE FLOORING, TEMP. SUPPORTING ALL WALL FRAMING AND FINISHES THAT MAY BE SUPPORTED BY THE EXIST. FLOORING. | |
| (LR-13A) | DEMO AND REMOVE THE EXIST. CLOSET FLOORING AND WD. FRAMING AT THE UPPER LEVEL; PROVIDE ALL REQUIRED STORING AND FRAMING. REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |
| (LR-13B) | DEMO AND REMOVE THE EXIST. FLOOR FINISH, STRUCTURAL FRAMING, AND STRUCTURAL SLAB TO CREATE AN ELEVATOR SHAFTWAY; REFER TO THE STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. | |

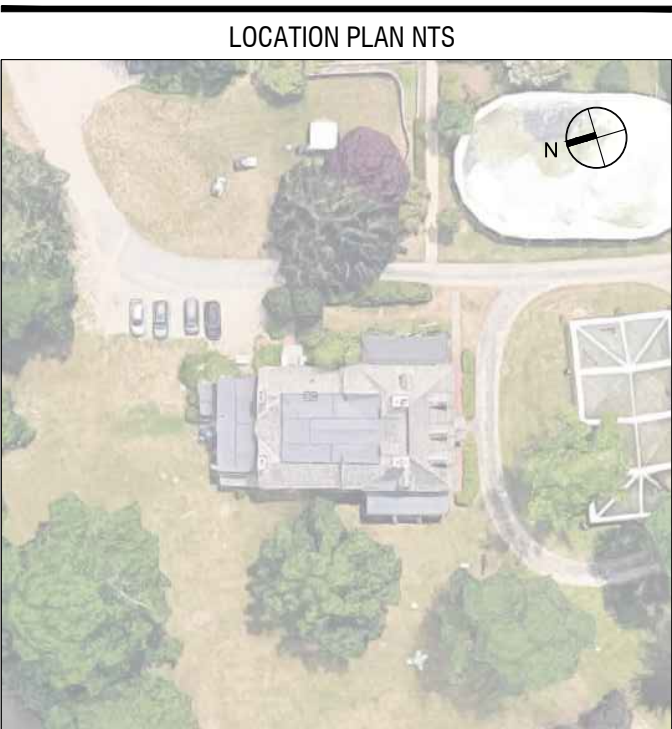
| INTERIOR REMOVAL GENERAL NOTES | |
|---|--|
| 1. THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC. | 4. AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. |
| 2. PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | 5. TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOWS, SIDINGS, AND FOUNDATIONS. |
| 3. REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK. | 6. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. |
| | 7. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING. |
| | 8. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. |
| | 9. PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. |



1 ATTIC FRAMING PLAN - REMOVAL

| ARCHITECT | | |
|---|---|--|
| ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com | | |
| CONSULTANTS | | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 | JARLONKSI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 |
| METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 | JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIRONMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR. 78 RUE DE FONTENAY 94200 VINCENTES USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003 |
| F. MICHAEL HEMMER, L.S. P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | | |

| CLIENT / OWNER | | |
|--|--|--|
| SYLVESTER MANOR MAILING ADDRESS: P.O. BOX 229 SHELTER ISLAND, NY 11964 | | |



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

| DOB JOB # | | |
|-------------|--|--|
| DOB STICKER | | |

| PROJECT | | |
|---|--|--|
| SYLVESTER MANOR HOUSE EXTERIOR REHABILITATION INTERIOR REUSE 80 NORTH FERRY ROAD SHELTER ISLAND, NY 11964 | | |

| DRAWING NAME | | |
|------------------------------|--|--|
| ATTIC FRAMING PLAN - REMOVAL | | |

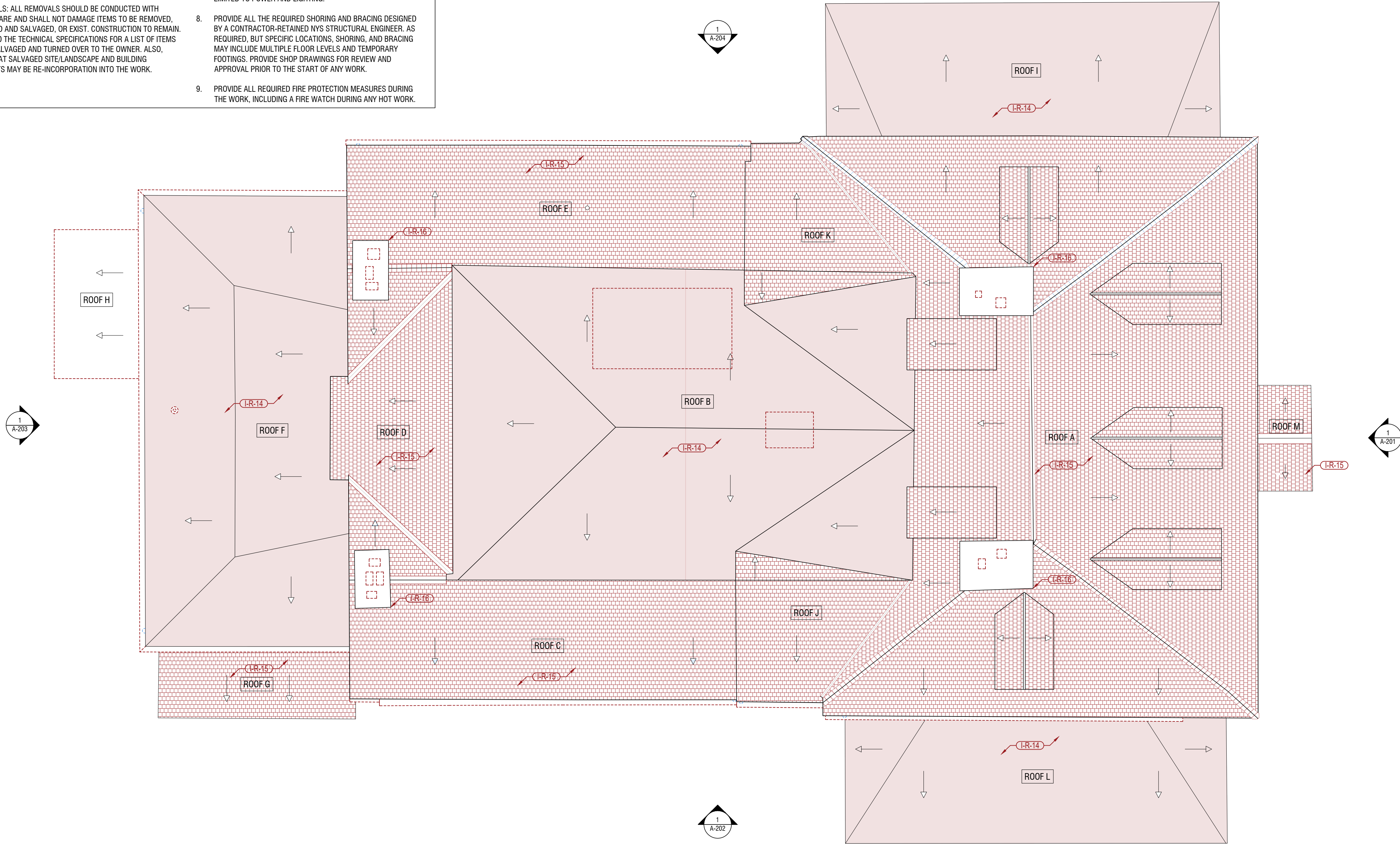
| SEAL & SIGNATURE | | |
|------------------|------------|--|
| | | |
| DATE: | 06.01.2023 | |
| APS PROJECT No: | 23-037 | |
| SCALE: | AS NOTED | |
| DRAWING BY: | MT, DT | |
| CHECKED BY: | P.J. DE SG | |
| DWG No: | A-105.00 | |
| DWG COUNT: | # OF ## | |

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
T
S
R
Q
P
O
N
M
L
K
J
I
H
G
F
E
D
C
B
A

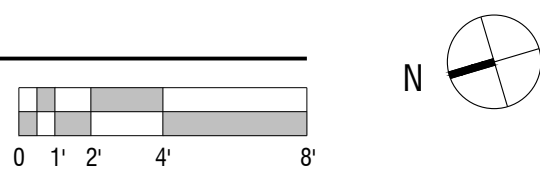
PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior\02_current\23-037_a-100_plans.dwg

| EXTERIOR REMOVAL LEGEND | | |
|-------------------------|---|---------|
| KEYNOTE | DESCRIPTION | GRAPHIC |
| (LR-14) | REMOVE EXISTING EPDM ROOFING SYSTEM AND ASSOCIATED FLASHINGS DOWN TO ROOF DECK. NOTIFY ARCHITECT AND OWNER OF DAMAGE TO EXISTING ROOF SO THAT CORRECTIVE ACTION CAN BE TAKEN PRIOR TO NEW WORK. | |
| (LR-15) | REMOVE EXISTING WOOD SHINGLE ROOFING SYSTEM DOWN TO THE EXISTING WOOD DECKING. NOTIFY THE ARCHITECT AND OWNER OF DETERIORATION SO CORRECTIVE ACTION CAN BE TAKEN PRIOR TO NEW WORK. WORK ALSO INCLUDES, BUT IS NOT LIMITED TO EXISTING WOOD RIDGE BOARDS, PURLINS, AND FLASHINGS, AND DRIP EDGES. | |
| (LR-16) | REMOVE EXISTING MTL. FLUE CAP, DAMPERS AND SPARK ARRESTORS. | |

| INTERIOR REMOVAL GENERAL NOTES | | |
|---|--|--|
| 1. THIS IS A HISTORIC STRUCTURE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A PROJECT/ELEMENT SPECIFIC REMOVAL PLAN. ALL REMOVAL WORK SHALL BE EXECUTED USING THE LEAST DESTRUCTIVE METHODS AND SHALL RETAIN ALL EXISTING BUILDING FABRIC. | 4. AT CONCEALED EXIST. CONDITIONS, IF DETERIORATED BUILDING ELEMENTS ARE OBSERVED BY THE CONTRACTOR, PLEASE IMMEDIATELY BRING THEM TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTIVE ACTION. | |
| 2. PROTECTIONS: PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR REVIEW AND APPROVAL A LOCATION-SPECIFIC PROTECTION PLAN FOR SITE/LANDSCAPE FEATURES AND EXTERIOR AND INTERIOR BUILDING ELEMENTS. GREAT CARE IS TO BE TAKEN TO PROTECT THE EXIST. SITE AND LANDSCAPE AND BUILDING FABRIC AND FINISHES TO REMAIN. NO DAMAGE TO THE EXIST. CONSTRUCTION TO REMAIN WILL BE ALLOWED. REFER TO THE TECHNICAL SPECIFICATIONS FOR PROTECTION PLAN REQUIREMENTS. | 5. TEMPORARY PROTECTIONS: DURING ALL REMOVALS AND UNTIL WORK IS PERFORMED, ENSURE THAT THE BASE BUILDING IS WATERTIGHT AT ALL TIMES, INCLUDING, AND NOT LIMITED ROOFS, DOORS, WINDOWS, SIDINGS, AND FOUNDATIONS. | |
| 3. REMOVALS: ALL REMOVALS SHOULD BE CONDUCTED WITH GREAT CARE AND SHALL NOT DAMAGE ITEMS TO BE REMOVED, REMOVED AND SALVAGED, OR EXIST. CONSTRUCTION TO REMAIN. REFER TO THE TECHNICAL SPECIFICATIONS FOR A LIST OF ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER. ALSO, NOTE THAT SALVAGED SITE/LANDSCAPE AND BUILDING ELEMENTS MAY BE RE-INCORPORATION INTO THE WORK. | 6. REMOVALS: REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED REMOVALS. | |
| | 7. THE CONTRACTOR SHALL PROVIDE ALL THE REQUIRED TEMPORARY SERVICES DURING THE WORK, INCLUDING BUT NOT LIMITED TO POWER AND LIGHTING. | |
| | 8. PROVIDE ALL THE REQUIRED SHORING AND BRACING DESIGNED BY A CONTRACTOR-RETAINED NYS STRUCTURAL ENGINEER, AS REQUIRED, BUT SPECIFIC LOCATIONS, SHORING, AND BRACING MAY INCLUDE MULTIPLE FLOOR LEVELS AND TEMPORARY FOOTINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK. | |
| | 9. PROVIDE ALL REQUIRED FIRE PROTECTION MEASURES DURING THE WORK, INCLUDING A FIRE WATCH DURING ANY HOT WORK. | |



1 ROOF PLAN - REMOVAL
SCALE: 3/16" = 1'-0"



ARCHITECT

**ARCHITECTURAL
PRESERVATION
STUDIO, DPC**
Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

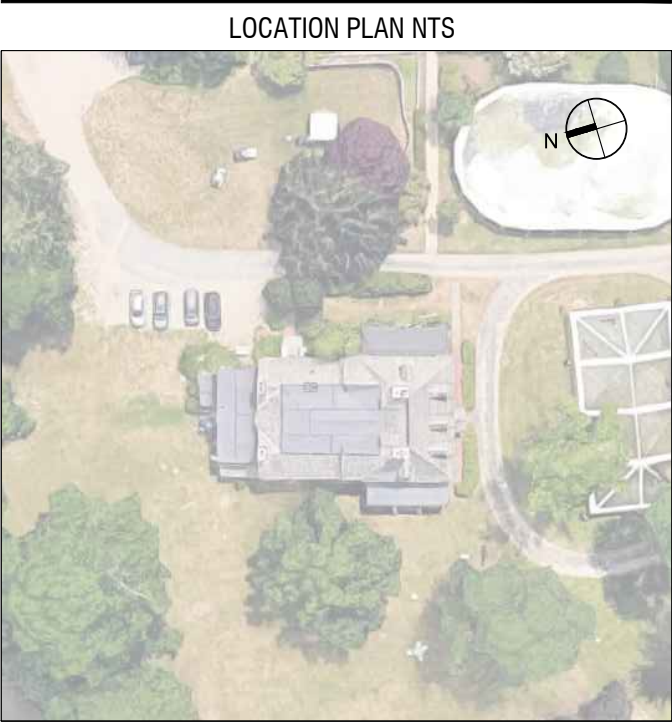
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR. 78 RUE DE FONTENAY 94200 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

**SYLVESTER
MANOR**

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ROOF PLAN - REMOVAL

SEAL & SIGNATURE

DATE:

06.01.2023

APS PROJECT NO:

23-037

SCALE:

AS NOTED

DRAWING BY:

MT, DT

CHECKED BY:

P.J, DE, SG

DWG NO.:

A-106.00

DWG COUNT:

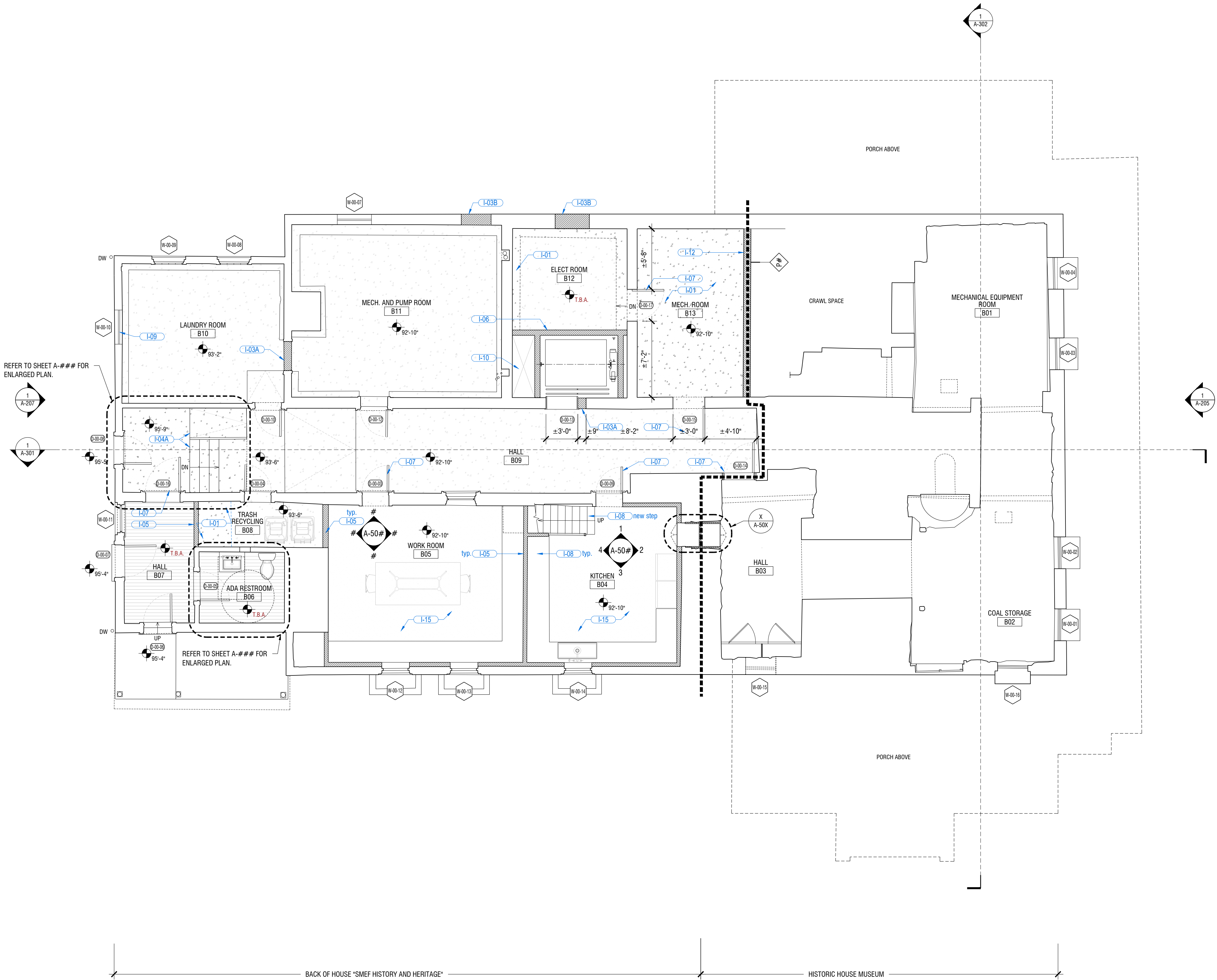
OF

REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural\preservation_studio\2023\23-037_smei_interior_and_exterior\drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REPAIR LEGEND | | |
|---|--|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-01 | INSTALL CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. PREPARE, PRIME, AND PAINT. | X/A-50X |
| L-02 | PROVIDE FRAMING, SUB-FLOORING, AND FINISH FLOORING PER SPECIFIC LOCATION. REFER TO THE FINISH SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-03A | NEW OR INFILL EXIST. DOOR OPENING. SEE SHEET A-50X FOR THE WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-03B | INFILL EXIST. WINDOW OPENING. SEE SHEET A-50X FOR WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-04A | CONCRETE LANDING, STEPS, AND RAMP, METAL HANDRAILS FOR STAIRS AND RAMP. INLAY ADA TACTILE PADS AT THE SLOPED RAMP. REFER TO THE STRUCTURAL DRAWINGS AND ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-04B | WOOD STEPS AND WD HANDRAILS TO THE FIRST FLOOR. REFER TO THE ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-05 | PROVIDE PARTITION WALL(S) PER THE WALL PARTITION DETAILS. SEE SHEET A-50X; WORK INCLUDES, BUT IS NOT LIMITED TO, BASE, CHAIR RAIL, AND CEILING MOLDING TO MATCH EXISTING ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-06 | THREE-STOP ELEVATOR - WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, ELEVATOR PIT, ELEVATOR CAB, CAB INTERIOR FINISHES, SHAFT WALL CONSTRUCTION WALL, VERTICAL RAILS, DOOR OPENINGS, ATTIC RE-FRAMING AND ATTIC/ROOF CONSTRUCTION. REFER TO PARTITION DETAILS, ROOF PLAN, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-07 | PROVIDE DOOR IN THE EXIST. OR NEW OPENING; WORK INCLUDES, BUT IS NOT LIMITED TO, FRAME, DOOR LEAF, THRESHOLD, STANDING AND RUNNING TRIM, AND HARDWARE. REFER TO THE DOOR AND FINISH THE SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-08 | SUPPLY AND INSTALL CUSTOM ARCHITECTURAL MILLWORK. MILLWORK INCLUDES, BUT IS NOT LIMITED TO, SHELVING, DISPLAY CASES, CABINETRY, ETC. REFER TO THE ENLARGED ARCHITECTURAL DETAILS, APPLIANCE SCHEDULE, AND PLUMBING DRAWINGS FOR MORE INFORMATION. | X/A-50X |
| L-09 | WINDOW INSTALLATION: PROVIDE UPPER AND LOWER WINDOW SASH, WINDOW CASING, SILL, STOOL, HARDWARE, AND WEATHER-STRIPPING. REFER TO THE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-10 | FIRE-RATED VERTICAL SHAFT/RISER FROM BASEMENT MEH'S TO ATTIC. WORK INCLUDES, BUT IS NOT LIMITED TO, FIRE STOPPING AND FIRE DAMPERS. | X/A-50X |
| L-11 | PROVIDE INSULATION UNDER EXISTING ATTIC WOOD FLOOR PER THE TECHNICAL SPECIFICATIONS. REINSTALL EXIST. WD. ATTIC DECKING TO MATCH THE ORIGINAL LOCATIONS. | X/A-50X |
| L-12 | MASONRY WALL INSTALLATION: BUILD NEW MASONRY WALL. | X/A-50X |
| L-13 | REPOINT EXIST. EXTERIOR FLAGSTONES AND BRICK PERIMETER AT EAST PORCH. CLEAN MASONRY AT COMPLETION WITH THE GENTLEST MEANS POSSIBLE. | X/A-50X |
| L-14 | EXIST. WD. DOOR SHALL BE FIXED IN THE CLOSED POSITION. SCOPE OF WORK INCLUDES MECHANICAL FASTENERS, AND PERIMETER SEALANT. PREPARE, PRIME, AND PAINT. REFER TO THE DOOR SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-15 | REPAIR EXISTS. CONCRETE FLOORING WHERE MISSING OR DAMAGED. PREPARE THE SUBSTRATE TO RECEIVE PRIMER (AS REQUIRED) AND NEW SELF-LEVELING TOPPING SLAB AND RESILIENT LINOLEUM SHEET FLOOR COVERING PER THE MANUFACTURER'S REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SUB-SURFACE PREPARATION AND MOISTURE CONTENT, ADHESIVES, SEAMS, ETC. | X/A-50X |
| INTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |



1 BASEMENT PLAN
SCALE: 3/16" = 1'-0"

ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JARLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94000 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S. P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

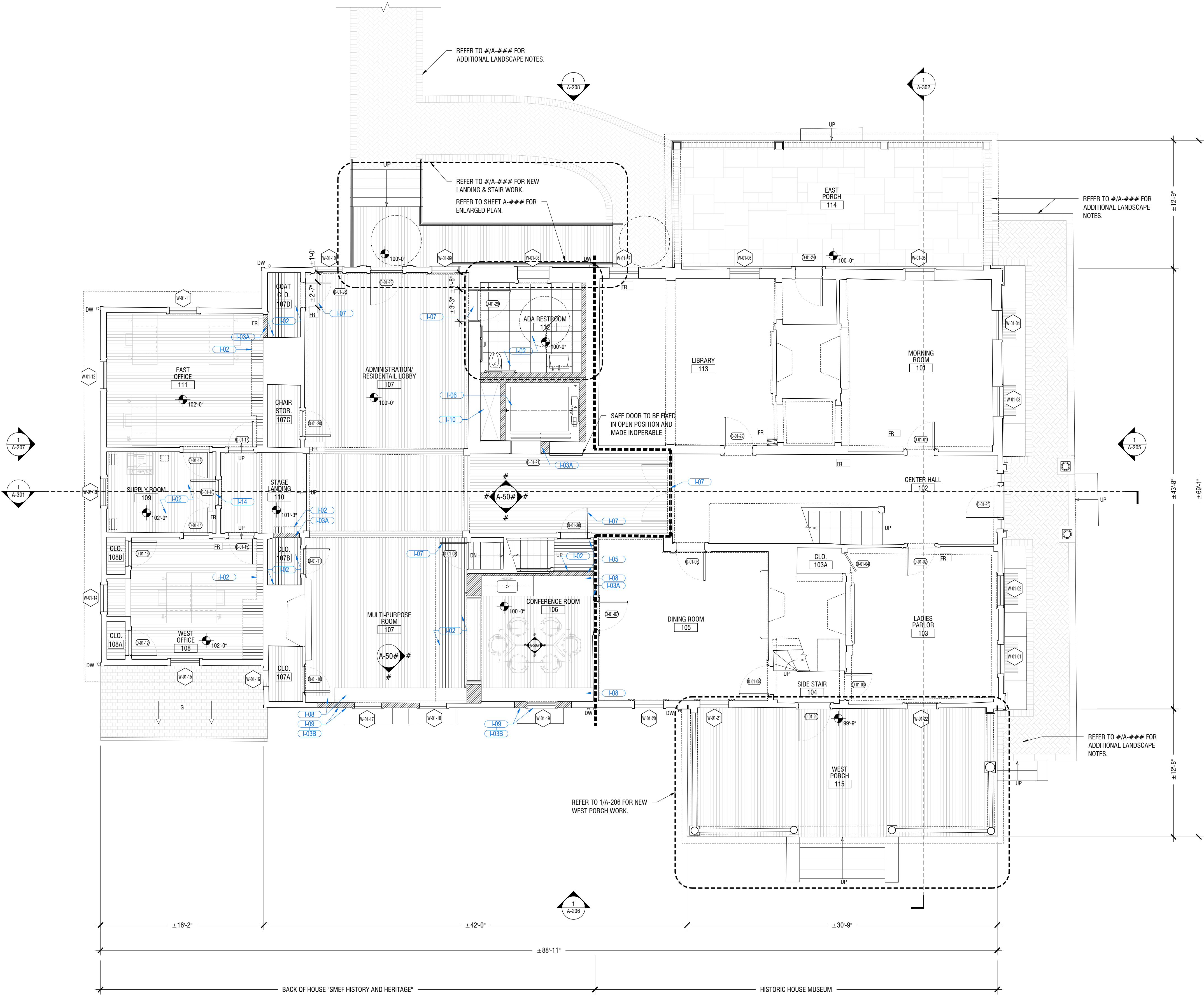
BASEMENT PLAN

SEAL & SIGNATURE

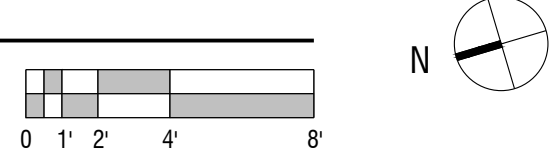
DATE: 06.01.2023
APS PROJECT No: 23-037
SCALE: AS NOTED
DRAWING BY: MT, DT
CHECKED BY: P.J. DE, SG
DWG No: A-107.00
OF ##
REGISTRATION EXPIRATION DATE: 11/30/2028
COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural\preservation\studio\2023\23-037_smef\interior_and_exterior\drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REPAIR LEGEND | | |
|---|--|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-01 | INSTALL CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. PREPARE, PRIME, AND PAINT. | X/A-50X |
| L-02 | PROVIDE FRAMING, SUB-FLOORING, AND FINISH FLOORING PER SPECIFIC LOCATION. REFER TO THE FINISH SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-03A | NEW OR INFILL EXIST. DOOR OPENING. SEE SHEET A-50X FOR THE WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-03B | INFILL EXIST. WINDOW OPENING. SEE SHEET A-50X FOR WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-04A | CONCRETE LANDING, STEPS, AND RAMP. METAL HANDRAILS FOR STAIRS AND RAMP. INLAY ADA TACTILE PADS AT THE SLOPED RAMP. REFER TO THE STRUCTURAL DRAWINGS AND ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-04B | WOOD STEPS AND WD HANDRAILS TO THE FIRST FLOOR. REFER TO THE ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-05 | PROVIDE PARTITION WALL(S) PER THE WALL PARTITION DETAILS. SEE SHEET A-50X; WORK INCLUDES, BUT IS NOT LIMITED TO, BASE, CHAIR RAIL, AND CEILING MOLDING TO MATCH EXISTING ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-06 | THREE-STOP ELEVATOR - WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, ELEVATOR PIT, ELEVATOR CAB, CAB INTERIOR FINISHES, SHAFT WALL CONSTRUCTION WALL, VERTICAL RAILS, DOOR OPENINGS, ATTIC RE-FRAMING AND ATTIC/ROOF CONSTRUCTION. REFER TO PARTITION DETAILS, ROOF PLAN, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-07 | PROVIDE DOOR IN THE EXIST. OR NEW OPENING; WORK INCLUDES, BUT IS NOT LIMITED TO, FRAME, DOOR LEAF, THRESHOLD, STANDING AND RUNNING TRIM, AND HARDWARE. REFER TO THE DOOR AND FINISH THE SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-08 | SUPPLY AND INSTALL CUSTOM ARCHITECTURAL MILLWORK. MILLWORK INCLUDES, BUT IS NOT LIMITED TO, SHELVING, DISPLAY CASES, CABINETS, ETC. REFER TO THE ENLARGED ARCHITECTURAL DETAILS, APPLIANCE SCHEDULE, AND PLUMBING DRAWINGS FOR MORE INFORMATION. | X/A-50X |
| L-09 | WINDOW INSTALLATION: PROVIDE UPPER AND LOWER WINDOW SASH, WINDOW CASING, SILL, STOOL, HARDWARE, AND WEATHER-STRIPPING. REFER TO THE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-10 | FIRE-RATED VERTICAL SHAFT/RISER FROM BASEMENT MEH'S TO ATTIC. WORK INCLUDES, BUT IS NOT LIMITED TO, FIRE STOPPING AND FIRE DAMPERS. | X/A-50X |
| L-11 | PROVIDE INSULATION UNDER EXISTING ATTIC WOOD FLOOR PER THE TECHNICAL SPECIFICATIONS. REINSTALL EXIST. WD. ATTIC DECKING TO MATCH THE ORIGINAL LOCATIONS. | X/A-50X |
| L-12 | MASONRY WALL INSTALLATION: BUILD NEW MASONRY WALL. | X/A-50X |
| L-13 | REPOINT EXIST. EXTERIOR FLAGSTONES AND BRICK PERIMETER AT EAST PORCH. CLEAN MASONRY AT COMPLETION WITH THE GENTLEST MEANS POSSIBLE. | X/A-50X |
| L-14 | EXIST. WD. DOOR SHALL BE FIXED IN THE CLOSED POSITION. SCOPE OF WORK INCLUDES MECHANICAL FASTENERS, AND PERIMETER SEALANT. PREPARE, PRIME, AND PAINT. REFER TO THE DOOR SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-15 | REPAIR EXISTS. CONCRETE FLOORING WHERE MISSING OR DAMAGED. PREPARE THE SUBSTRATE TO RECEIVE PRIMER (AS REQUIRED) AND NEW SELF-LEVELING TOPPING SLAB AND RESILIENT LINOLEUM SHEET FLOOR COVERING PER THE MANUFACTURER'S REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SUB-SURFACE PREPARATION AND MOISTURE CONTENT, ADHESIVES, SEAMS, ETC. | X/A-50X |
| INTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JARLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94200 VINCENNES
USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

FIRST FLOOR PLAN

SEAL & SIGNATURE

REGISTERED ARCHITECT
ANGELA S. JEROME
1957
STATE OF NEW YORK

DATE

06.01.2023

APS PROJECT No.

23-037

SCALE

AS NOTED

DRAWINGS BY

MT, DT

CHECKED BY

P.J. DE SG

DWG No.

A-108.00

DWG COUNT

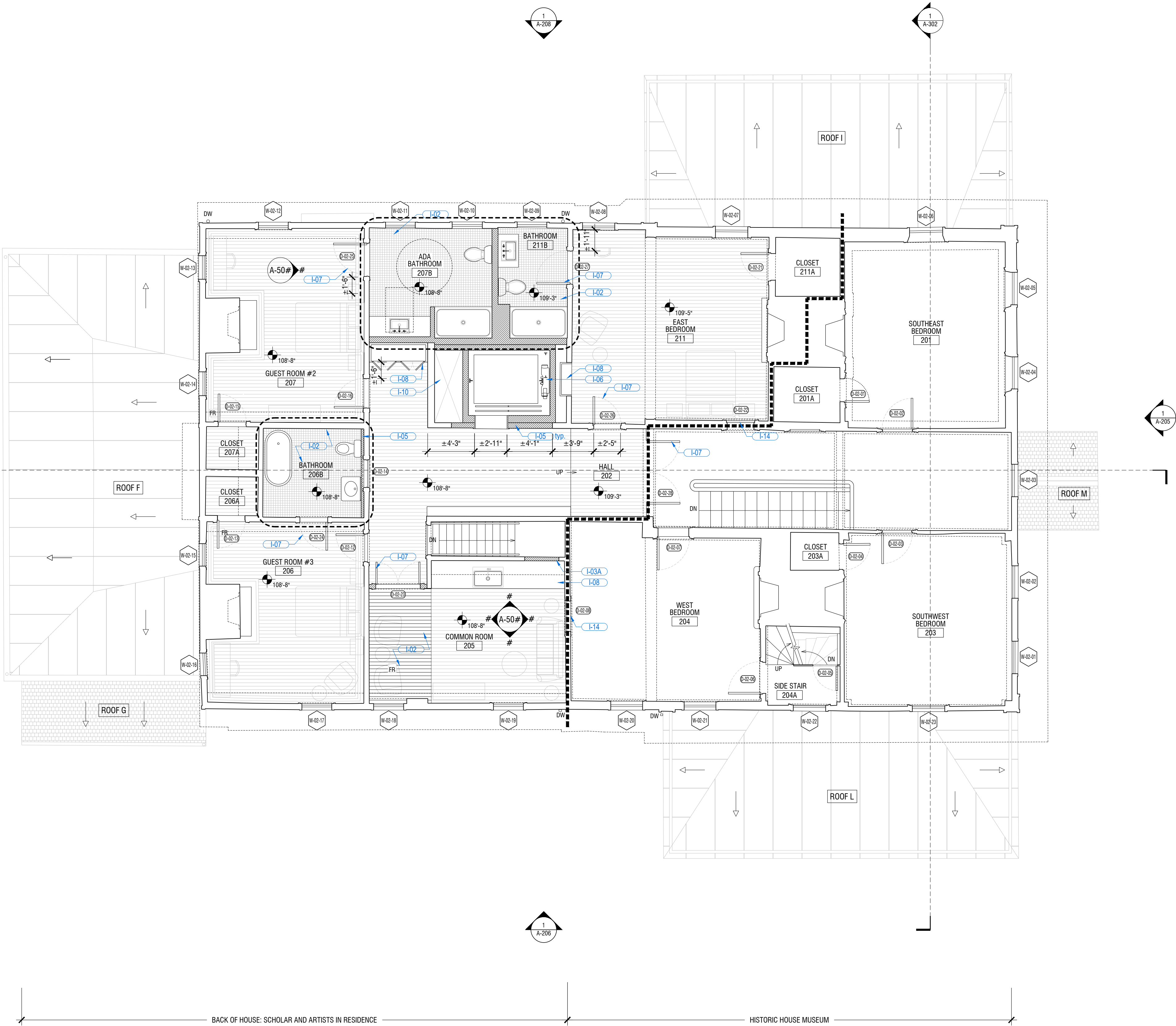
OF

REGISTRATION EXPIRATION DATE: 11/30/2028

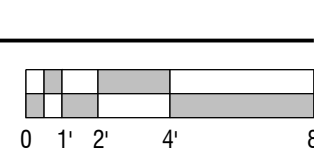
COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural_preservation_studio\2023\23-037_snel_interior_and_exterior\02_current\23-037-a-100_plans.dwg

| INTERIOR REPAIR LEGEND | | |
|---|---|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-01 | INSTALL CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. PREPARE, PRIME, AND PAINT. | X/A-50X |
| L-02 | PROVIDE FRAMING, SUB-FLOORING, AND FINISH FLOORING PER SPECIFIC LOCATION. REFER TO THE FINISH SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-03A | NEW OR INFILL EXIST. DOOR OPENING. SEE SHEET A-50X FOR THE WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-03B | INFILL EXIST. WINDOW OPENING. SEE SHEET A-50X FOR WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-04A | CONCRETE LANDING, STEPS, AND RAMP. METAL HANDRAILS FOR STAIRS AND RAMP. INLAY ADA TACTILE PADS AT THE SLOPED RAMP. REFER TO THE STRUCTURAL DRAWINGS AND ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-04B | WOOD STEPS AND WD HANDRAILS TO THE FIRST FLOOR. REFER TO THE ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-05 | PROVIDE PARTITION WALL(S) PER THE WALL PARTITION DETAILS. SEE SHEET A-50X; WORK INCLUDES, BUT IS NOT LIMITED TO, BASE, CHAIR RAIL, AND CEILING MOLDING TO MATCH EXISTING ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-06 | THREE-STOP ELEVATOR - WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, ELEVATOR PIT, ELEVATOR CAB, CAB INTERIOR FINISHES, SHAFT WALL CONSTRUCTION WALL, VERTICAL RAILS, DOOR OPENINGS, ATTIC RE-FRAMING AND ATTIC/ROOF CONSTRUCTION. REFER TO PARTITION DETAILS, ROOF PLAN, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-07 | PROVIDE DOOR IN THE EXIST. OR NEW OPENING; WORK INCLUDES, BUT IS NOT LIMITED TO, FRAME, DOOR LEAF, THRESHOLD, STANDING AND RUNNING TRIM, AND HARDWARE. REFER TO THE DOOR AND FINISH THE SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-08 | SUPPLY AND INSTALL CUSTOM ARCHITECTURAL MILLWORK. MILLWORK INCLUDES, BUT IS NOT LIMITED TO, SHELVING, DISPLAY CASES, CABINETRY, ETC. REFER TO THE ENLARGED ARCHITECTURAL DETAILS, APPLIANCE SCHEDULE, AND PLUMBING DRAWINGS FOR MORE INFORMATION. | X/A-50X |
| L-09 | WINDOW INSTALLATION: PROVIDE UPPER AND LOWER WINDOW SASH, WINDOW CASING, SILL, STOOL, HARDWARE, AND WEATHER-STRIPPING. REFER TO THE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-10 | FIRE-RATED VERTICAL SHAFT/RISER FROM BASEMENT MEH'S TO ATTIC. WORK INCLUDES, BUT IS NOT LIMITED TO, FIRE STOPPING AND FIRE DAMPERS. | X/A-50X |
| L-11 | PROVIDE INSULATION UNDER EXISTING ATTIC WOOD FLOOR PER THE TECHNICAL SPECIFICATIONS. REINSTALL EXIST. WD. ATTIC DECKING TO MATCH THE ORIGINAL LOCATIONS. | X/A-50X |
| L-12 | MASONRY WALL INSTALLATION: BUILD NEW MASONRY WALL. | X/A-50X |
| L-13 | REPOINT EXIST. EXTERIOR FLAGSTONES AND BRICK PERIMETER AT EAST PORCH. CLEAN MASONRY AT COMPLETION WITH THE GENTLEST MEANS POSSIBLE. | X/A-50X |
| L-14 | EXIST. WD. DOOR SHALL BE FIXED IN THE CLOSED POSITION. SCOPE OF WORK INCLUDES MECHANICAL FASTENERS, AND PERIMETER SEALANT. PREPARE, PRIME, AND PAINT. REFER TO THE DOOR SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-15 | REPAIR EXISTS. CONCRETE FLOORING WHERE MISSING OR DAMAGED. PREPARE THE SUBSTRATE TO RECEIVE PRIMER (AS REQUIRED) AND NEW SELF-LEVELING TOPING SLAB AND RESILIENT LINOLEUM SHEET FLOOR COVERING PER THE MANUFACTURER'S REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SUB-SURFACE PREPARATION AND MOISTURE CONTENT, ADHESIVES, SEAMS, ETC. | X/A-50X |
| INTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532
A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011
JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001
METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007
JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94200 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003
F. MICHAEL HEMMER, L.S. P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER
MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

SECOND FLOOR PLAN

SEAL & SIGNATURE

GABRIELA S. JERNSTEDT
REGISTERED ARCHITECT
STATE OF NEW YORK
21957

DATE:

06.01.2023

APS PROJECT No:

23-037

SCALE:

AS NOTED

DRAWING BY:

MT, DT

CHECKED BY:

P.J. DE SG

DWG No:

A-109.00

DWG COUNT:

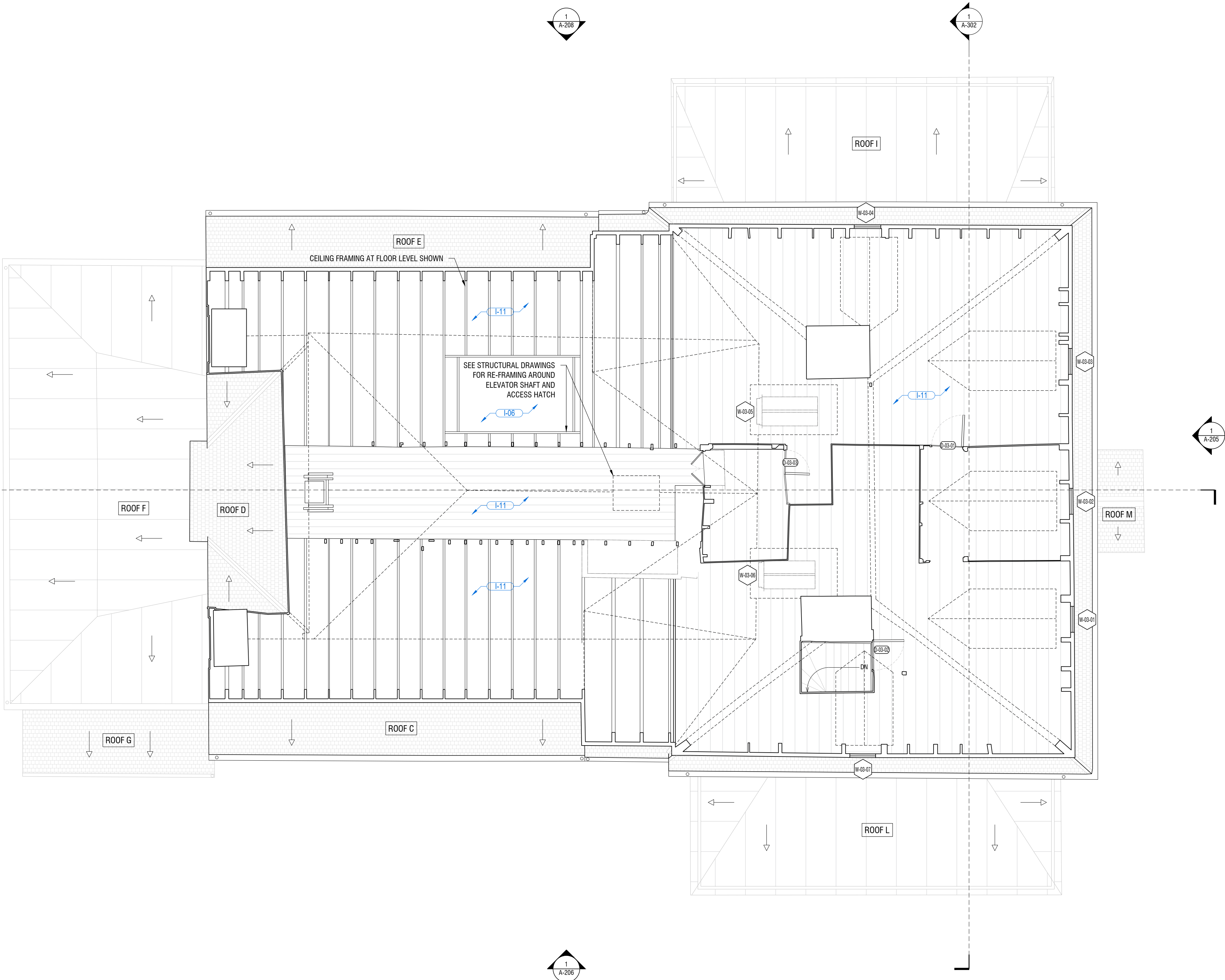
OF

REGISTRATION EXPIRATION DATE: 11/30/2026
COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural_preservation_studio\2023\23-037_snel_interior_and_exterior_b_drawings\02_current\23-037-a-100_plans.dwg

| INTERIOR REPAIR LEGEND | | |
|---|--|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-01 | INSTALL CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. PREPARE, PRIME, AND PAINT. | X/A-50X |
| L-02 | PROVIDE FRAMING, SUB-FLOORING, AND FINISH FLOORING PER SPECIFIC LOCATION. REFER TO THE FINISH SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-03A | NEW OR INFILL EXIST. DOOR OPENING. SEE SHEET A-50X FOR THE WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-03B | INFILL EXIST. WINDOW OPENING. SEE SHEET A-50X FOR WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-04A | CONCRETE LANDING, STEPS, AND RAMP, METAL HANDRAILS FOR STAIRS AND RAMP. INLAY ADA TACTILE PADS AT THE SLOPED RAMP. REFER TO THE STRUCTURAL DRAWINGS AND ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-04B | WOOD STEPS AND WD HANDRAILS TO THE FIRST FLOOR. REFER TO THE ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-05 | PROVIDE PARTITION WALL(S) PER THE WALL PARTITION DETAILS. SEE SHEET A-50X; WORK INCLUDES, BUT IS NOT LIMITED TO, BASE, CHAIR RAIL, AND CEILING MOLDING TO MATCH EXISTING ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-06 | THREE-STOP ELEVATOR - WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, ELEVATOR PIT, ELEVATOR CAB, CAB INTERIOR FINISHES, SHAFT WALL CONSTRUCTION WALL, VERTICAL RAILS, DOOR OPENINGS, ATTIC RE-FRAMING AND ATTIC/ROOF CONSTRUCTION. REFER TO PARTITION DETAILS, ROOF PLAN, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-07 | PROVIDE DOOR IN THE EXIST. OR NEW OPENING; WORK INCLUDES, BUT IS NOT LIMITED TO, FRAME, DOOR LEAF, THRESHOLD, STANDING AND RUNNING TRIM, AND HARDWARE. REFER TO THE DOOR AND FINISH THE SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-08 | SUPPLY AND INSTALL CUSTOM ARCHITECTURAL MILLWORK. MILLWORK INCLUDES, BUT IS NOT LIMITED TO, SHELVING, DISPLAY CASES, CABINETY, ETC. REFER TO THE ENLARGED ARCHITECTURAL DETAILS, APPLIANCE SCHEDULE, AND PLUMBING DRAWINGS FOR MORE INFORMATION. | X/A-50X |
| L-09 | WINDOW INSTALLATION: PROVIDE UPPER AND LOWER WINDOW SASH, WINDOW CASING, SILL, STOOL, HARDWARE, AND WEATHER-STRIPPING. REFER TO THE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-10 | FIRE-RATED VERTICAL SHAFT/RISER FROM BASEMENT MEH-S TO ATTIC. WORK INCLUDES, BUT IS NOT LIMITED TO, FIRE STOPPING AND FIRE DAMPERS. | X/A-50X |
| L-11 | PROVIDE INSULATION UNDER EXISTING ATTIC WOOD FLOOR PER THE TECHNICAL SPECIFICATIONS. REINSTALL EXIST. WD. ATTIC DECKING TO MATCH THE ORIGINAL LOCATIONS. | X/A-50X |
| L-12 | MASONRY WALL INSTALLATION: BUILD NEW MASONRY WALL. | X/A-50X |
| L-13 | REPOINT EXIST. EXTERIOR FLAGSTONES AND BRICK PERIMETER AT EAST PORCH. CLEAN MASONRY AT COMPLETION WITH THE GENTLEST MEANS POSSIBLE. | X/A-50X |
| L-14 | EXIST. WD. DOOR SHALL BE FIXED IN THE CLOSED POSITION. SCOPE OF WORK INCLUDES MECHANICAL FASTENERS, AND PERIMETER SEALANT. PREPARE, PRIME, AND PAINT. REFER TO THE DOOR SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-15 | REPAIR EXISTS. CONCRETE FLOORING WHERE MISSING OR DAMAGED. PREPARE THE SUBSTRATE TO RECEIVE PRIMER (AS REQUIRED) AND NEW SELF-LEVELING TOPPING SLAB AND RESILIENT LINOLEUM SHEET FLOOR COVERING PER THE MANUFACTURER'S REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SUB-SURFACE PREPARATION AND MOISTURE CONTENT, ADHESIVES, SEAMS, ETC. | X/A-50X |
| INTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |

1 ATTIC FLOOR PLAN
SCALE: 3/16" = 1'-0"



ARCHITECT

ARCHITECTURAL PRESERVATION STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532
A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011
JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001
METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007
JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001
BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94200 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003
F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| | | |
|-----|-----------------------------|------------|
| | | |
| | | |
| | | |
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ATTIC PLAN

SEAL & SIGNATURE

DATE:

06.01.2023

APS PROJECT No:

23-037

SCALE:

AS NOTED

DRAWINGS BY:

MT, DT

CHECKED BY:

P.J. DE SG

DWG No:

A-110.00

DWG COUNT:

OF

REGISTRATION EXPIRATION DATE: 11/30/2026

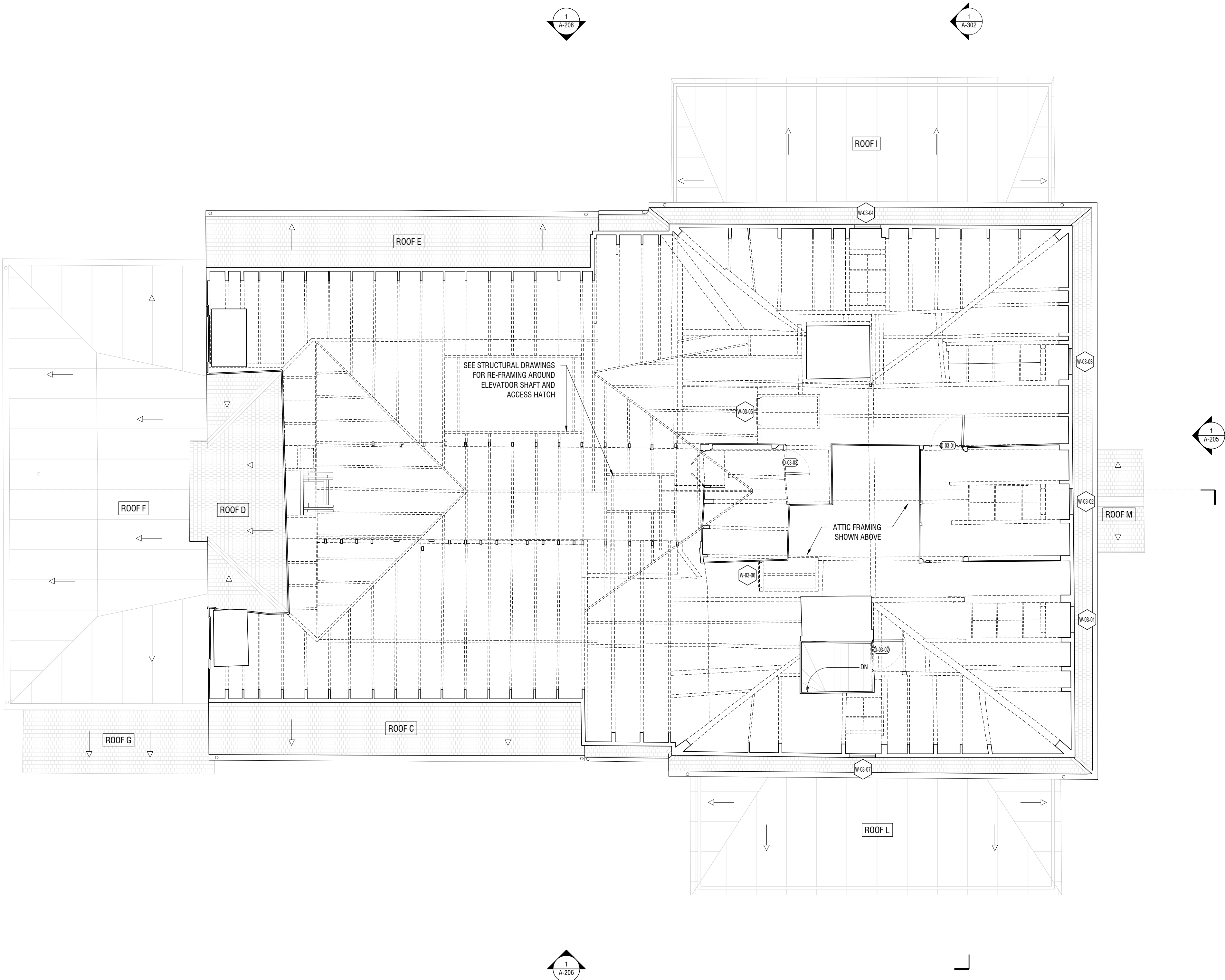
COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

PLOTTED: 1/31/2024 11:53 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_snel interior and exterior\02_current\23-037-a-100_plans.dwg

| INTERIOR REPAIR LEGEND | | |
|---|--|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-01 | INSTALL CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS FOR ADDITIONAL INFORMATION. PREPARE, PRIME, AND PAINT. | X/A-50X |
| L-02 | PROVIDE FRAMING, SUB-FLOORING, AND FINISH FLOORING PER SPECIFIC LOCATION. REFER TO THE FINISH SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-03A | NEW OR INFILL EXIST. DOOR OPENING. SEE SHEET A-50X FOR THE WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-03B | INFILL EXIST. WINDOW OPENING. SEE SHEET A-50X FOR WALL PARTITION DETAILS. INSTALL INTERIOR FINISH AND NEW WOOD STANDING AND RUNNING TRIM AND MOLDINGS TO MATCH EXIST. ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-04A | CONCRETE LANDING, STEPS, AND RAMP, METAL HANDRAILS FOR STAIRS AND RAMP. INLAY ADA TACTILE PADS AT THE SLOPED RAMP. REFER TO THE STRUCTURAL DRAWINGS AND ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-04B | WOOD STEPS AND WD HANDRAILS TO THE FIRST FLOOR. REFER TO THE ENLARGED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-05 | PROVIDE PARTITION WALL(S) PER THE WALL PARTITION DETAILS. SEE SHEET A-50X; WORK INCLUDES, BUT IS NOT LIMITED TO, BASE, CHAIR RAIL, AND CEILING MOLDING TO MATCH EXISTING ADJACENT. SEE FINISH SCHEDULE. | X/A-50X |
| L-06 | THREE-STOP ELEVATOR - WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, ELEVATOR PIT, ELEVATOR CAB, CAB INTERIOR FINISHES, SHAFT WALL CONSTRUCTION WALL, VERTICAL RAILS, DOOR OPENINGS, ATTIC RE-FRAMING AND ATTIC/ROOF CONSTRUCTION. REFER TO PARTITION DETAILS, ROOF PLAN, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-07 | PROVIDE DOOR IN THE EXIST. OR NEW OPENING; WORK INCLUDES, BUT IS NOT LIMITED TO, FRAME, DOOR LEAF, THRESHOLD, STANDING AND RUNNING TRIM, AND HARDWARE. REFER TO THE DOOR AND FINISH THE SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-08 | SUPPLY AND INSTALL CUSTOM ARCHITECTURAL MILLWORK. MILLWORK INCLUDES, BUT IS NOT LIMITED TO, SHELVING, DISPLAY CASES, CABINETRY, ETC. REFER TO THE ENLARGED ARCHITECTURAL DETAILS, APPLIANCE SCHEDULE, AND PLUMBING DRAWINGS FOR MORE INFORMATION. | X/A-50X |
| L-09 | WINDOW INSTALLATION: PROVIDE UPPER AND LOWER WINDOW SASH, WINDOW CASING, SILL, STOOL, HARDWARE, AND WEATHER-STRIPPING. REFER TO THE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION. | X/A-50X |
| L-10 | FIRE-RATED VERTICAL SHAFT/RISER FROM BASEMENT MEH'S TO ATTIC. WORK INCLUDES, BUT IS NOT LIMITED TO, FIRE STOPPING AND FIRE DAMPERS. | X/A-50X |
| L-11 | PROVIDE INSULATION UNDER EXISTING ATTIC WOOD FLOOR PER THE TECHNICAL SPECIFICATIONS. REINSTALL EXIST. WD. ATTIC DECKING TO MATCH THE ORIGINAL LOCATIONS. | X/A-50X |
| L-12 | MASONRY WALL INSTALLATION: BUILD NEW MASONRY WALL. | X/A-50X |
| L-13 | REPOINT EXIST. EXTERIOR FLAGSTONES AND BRICK PERIMETER AT EAST PORCH. CLEAN MASONRY AT COMPLETION WITH THE GENTLEST MEANS POSSIBLE. | X/A-50X |
| L-14 | EXIST. WD. DOOR SHALL BE FIXED IN THE CLOSED POSITION. SCOPE OF WORK INCLUDES MECHANICAL FASTENERS, AND PERIMETER SEALANT. PREPARE, PRIME, AND PAINT. REFER TO THE DOOR SCHEDULE FOR MORE INFORMATION. | X/A-50X |
| L-15 | REPAIR EXISTS. CONCRETE FLOORING WHERE MISSING OR DAMAGED. PREPARE THE SUBSTRATE TO RECEIVE PRIMER (AS REQUIRED) AND NEW SELF-LEVELING TOPPING SLAB AND RESILIENT LINOLEUM SHEET FLOOR COVERING PER THE MANUFACTURER'S REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SUB-SURFACE PREPARATION AND MOISTURE CONTENT, ADHESIVES, SEAMS, ETC. | X/A-50X |
| INTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |

1 ATTIC FRAMING PLAN

SCALE: 3/16" = 1'-0"



ARCHITECT



Architecture, Historic Preservation, & Building Envelope Consulting

594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)

50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)

34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JARLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)

40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)

22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)

243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)

FR: 78 RUE DE FONTENAY 94201 VINCENNES
USA; 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)

3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER



MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT
SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ATTIC FRAMING PLAN

SEAL & SIGNATURE



DATE: 06.01.2023

APS PROJECT No: 23-037

SCALE: AS NOTED

DRAWING BY: MT, DT

CHECKED BY: P.J. DE SG

DWG No: A-111.00

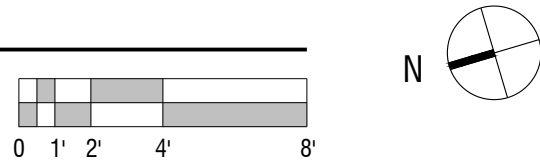
DWG COUNT: # OF ##

1/31/2024 11:27 AM BY: ---- FILE NAME: i:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior\02_current\02_037_a-100_plans.dwg

| EXTERIOR REPAIR LEGEND | | |
|---|---|---------|
| KEYNOTE | DESCRIPTION | DETAIL |
| L-16 | REPLACE WOOD SHEATHING AS REQUIRED TO MATCH EXISTING (ASSUME 20% REPLACEMENT). INSTALL NEW UNDERLAYMENT, ICE-AND-WATER SHIELD MEMBRANE, AND LEAD-COATED COPPER FLAT-SEAM METAL ROOF. TEMPORARILY REMOVE EXISTING WOOD SIDING TO ACCOMMODATE NEW FLASHING, REINSTALL AFTER COMPLETION. | X/A-50X |
| L-17 | REPLACE WOOD SHEATHING AS REQUIRED TO MATCH EXISTING (ASSUME 20% REPLACEMENT). INSTALL NEW UNDERLAYMENT, ICE-AND-WATER SHIELD MEMBRANE, AND NEW WOOD SHINGLE ROOFING. PROVIDE NEW LEAD-COATED COPPER FLASHINGS AS SHOWN. | X/A-50X |
| L-18 | CHIMNEY CAP INSTALLATION: INSTALL NEW LOW PROFILE LEAD COATED COPPER VENTED CHIMNEY CAP. | X/A-50X |
| L-19 | ACCESS HATCH INSTALLATION: PROVIDE NEW ACCESS HATCH AT FLAT-SEAM METAL ROOF. | X/A-50X |
| L-20 | VENT PIPE INSTALLATION: PROVIDE NEW VENT PIPE AT FLAT-SEAM METAL ROOF. | X/A-50X |
| EXTERIOR GENERAL NOTES | | |
| 1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL DRAWINGS FOR THEIR ASSOCIATED WORK. | | |
| 2. SEE FINISHES: REFER TO ROOM FINISH SCHEDULE FOR DETAILED FINISH, FIXTURE, AND FURNITURE INFORMATION | | |



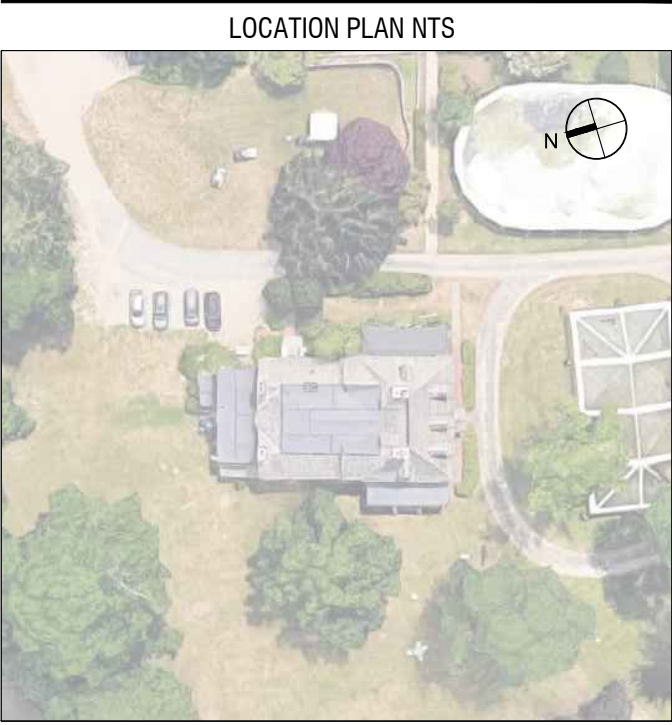
1 ROOF PLAN
SCALE: 3/16" = 1'-0"



| ARCHITECT | |
|---|--|
| ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com | |
| CONSULTANTS | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | |
| A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 | |
| JABLONKSI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 | |
| METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 | |
| JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIORNMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | |
| BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR: 78 RUE DE FONTENAY 94000 VINCENNES USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003 | |
| F. MICHAEL HEMMER, L.S., P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | |
| CLIENT / OWNER | |


SYLVESTER MANOR

MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER


PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE

80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

ROOF PLAN

| | |
|---|---|
| SEAL & SIGNATURE | DATE: 06.01.2023 |
|  | APS PROJECT No: 23-037 |
| | SCALE: AS NOTED |
| | DRAWING BY: MT, DT |
| | CHECKED BY: P.J, DE, SG |
| DWG No: A-112.00 | DWG COUNT: # OF ## |
| REGISTRATION EXPIRATION DATE: 11.06.2026 | COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED |

2

3

4

5

6

7

8

9

10

11

12

13

14

15

| REPAIR/RESTORATION LEGEND | | | | | | | | | | | | | | | |
|---------------------------|---------|-----------------------------------|---------|-----------|---------|--|---------|------------|---------|---|---------|---|---------|------------------------------|---------|
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL | KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL | KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL | KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
| BR-MAS-01 | | BRICK MASONRY REPOINTING | X/A-50X | WD-SHG-17 | | WOOD SHINGLE SIDING REPLACEMENT | X/A-50X | WD-DEK-21 | | WOOD DECK REPLACEMENT | X/A-50X | WD-WIN-34A | | WOOD WINDOW SASH REPLACEMENT | X/A-50X |
| BR-MAS-02 | | BRICK MASONRY REPAIR | X/A-50X | WD-RAI-20 | | WOOD RAILING REPLACEMENT | X/A-50X | WD-FAS-31 | | WOOD FASCIA REPLACEMENT | X/A-50X | WD-WIN-35 | | NEW WOOD WINDOW INSTALLATION | X/A-50X |
| BR-MAS-14 | | BRICK MASS-MASONRY REPLACEMENT | X/A-50X | WD-RAI-27 | | WOOD DECORATIVE RAILING INSTALLATION | X/A-50X | MT-GUT-29A | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X | WD-SHU-36 | | WOOD SHUTTER REPLACEMENT | X/A-50X |
| BR-UNI-04 | | INDIVIDUAL BRICK MASONRY REPAIR | X/A-50X | WD-MWD-25 | | MISCELLANEOUS WOOD REPAIRS | X/A-50X | MT-GUT-29B | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X | CO-FOW-42 | | FOUNDATION WALL COATING | |
| BR-MAS-07 | | MASONRY CLEANING | | WD-MWD-26 | | MISCELLANEOUS WOOD ELEMENT REPLACEMENT | X/A-50X | MT-FLA-30 | | MISC. METAL COPPER FLASHING REPLACEMENT | X/A-50X | PT-MMT-43 | | MISC. METAL PAINTING | |
| BR-WIN-15 | | WINDOW INFILL | X/A-50X | WD-PAN-24 | | FRAMED WOOD LATTICE PANEL REPLACEMENT | X/A-50X | SE-MISC-32 | | SEALANT REPLACEMENT | X/A-50X | PT-MWD-44 | | MISC. WOOD PAINTING | |
| WD-SID-16 | | WOOD CLAPBOARD SIDING REPLACEMENT | X/A-50X | WD-COL-22 | | WOOD COLUMN REPAIR | X/A-50X | WD-DOO-33 | | WOOD DOOR RESTORATION | X/A-50X | <div>NOTES</div> <div>1. REFER TO REPAIR/RESTORATION LEGEND ON SHEET T-002.</div> <div>2. REFER TO FLOOR AND ROOF PLANS FOR ADDITIONAL INFORMATION.</div> | | | |
| WD-SID-18 | | WOOD TRIM REPAIR | X/A-50X | WD-COL-23 | | WOOD COLUMN REPLACEMENT | X/A-50X | WD-WIN-34 | | WOOD WINDOW REPAIR | X/A-50X | | | | |

The drawing shows the south elevation of a two-story house with a gabled roof and dormers. Key features include:

- Floors:** ATTIC FLOOR ±117'-3", SECOND FLOOR ±108'-5", FIRST FLOOR ±100'-0", BASEMENT ±92'-10".
- Roof:** Shingles are being replaced (WD-SHG-17). Gutter and downspouts are being installed (MT-GUT-29A/B).
- Dormers:** Four dormers are shown. The west and east elevations of the center dormer are detailed separately (A, B, C, D). They show window sash replacement (WD-WIN-34A), new window installation (WD-WIN-35), shutter replacement (WD-SHU-36), and wood painting (PT-MWD-44).
- Windows:** Various windows are labeled with key notes like W-01-01 through W-01-04, W-02-01 through W-02-04, W-03-01 through W-03-03, W-04-01 through W-04-04, W-05-01 through W-05-04, W-06-01 through W-06-04, W-07-01 through W-07-04, W-08-01 through W-08-04, W-09-01 through W-09-04, W-10-01 through W-10-04, W-11-01 through W-11-04, W-12-01 through W-12-04, W-13-01 through W-13-04, W-14-01 through W-14-04, W-15-01 through W-15-04, W-16-01 through W-16-04, W-17-01 through W-17-04, W-18-01 through W-18-04, W-19-01 through W-19-04, W-20-01 through W-20-04, W-21-01 through W-21-04, W-22-01 through W-22-04, W-23-01 through W-23-04, W-24-01 through W-24-04, W-25-01 through W-25-04, W-26-01 through W-26-04, W-27-01 through W-27-04, W-28-01 through W-28-04, W-29-01 through W-29-04, W-30-01 through W-30-04, W-31-01 through W-31-04, W-32-01 through W-32-04, W-33-01 through W-33-04, W-34-01 through W-34-04, W-35-01 through W-35-04, W-36-01 through W-36-04, W-37-01 through W-37-04, W-38-01 through W-38-04, W-39-01 through W-39-04, W-40-01 through W-40-04, W-41-01 through W-41-04, W-42-01 through W-42-04, W-43-01 through W-43-04, W-44-01 through W-44-04, W-45-01 through W-45-04, W-46-01 through W-46-04, W-47-01 through W-47-04, W-48-01 through W-48-04, W-49-01 through W-49-04, W-50-01 through W-50-04, W-51-01 through W-51-04, W-52-01 through W-52-04, W-53-01 through W-53-04, W-54-01 through W-54-04, W-55-01 through W-55-04, W-56-01 through W-56-04, W-57-01 through W-57-04, W-58-01 through W-58-04, W-59-01 through W-59-04, W-60-01 through W-60-04, W-61-01 through W-61-04, W-62-01 through W-62-04, W-63-01 through W-63-04, W-64-01 through W-64-04, W-65-01 through W-65-04, W-66-01 through W-66-04, W-67-01 through W-67-04, W-68-01 through W-68-04, W-69-01 through W-69-04, W-70-01 through W-70-04, W-71-01 through W-71-04, W-72-01 through W-72-04, W-73-01 through W-73-04, W-74-01 through W-74-04, W-75-01 through W-75-04, W-76-01 through W-76-04, W-77-01 through W-77-04, W-78-01 through W-78-04, W-79-01 through W-79-04, W-80-01 through W-80-04, W-81-01 through W-81-04, W-82-01 through W-82-04, W-83-01 through W-83-04, W-84-01 through W-84-04, W-85-01 through W-85-04, W-86-01 through W-86-04, W-87-01 through W-87-04, W-88-01 through W-88-04, W-89-01 through W-89-04, W-90-01 through W-90-04, W-91-01 through W-91-04, W-92-01 through W-92-04, W-93-01 through W-93-04, W-94-01 through W-94-04, W-95-01 through W-95-04, W-96-01 through W-96-04, W-97-01 through W-97-04, W-98-01 through W-98-04, W-99-01 through W-99-04, W-100-01 through W-100-04.
- Doors:** The main entrance door is labeled D-01-25.
- Trim and Columns:** Wood columns are being repaired or replaced (WD-COL-22, WD-COL-23). Wood trim is being repaired (WD-SID-16, WD-SID-18).
- Other Work:** Brick masonry is being repointed or repaired (BR-MAS-01, BR-MAS-02, BR-MAS-14). Miscellaneous wood repairs are indicated by WD-MWD-25.

1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

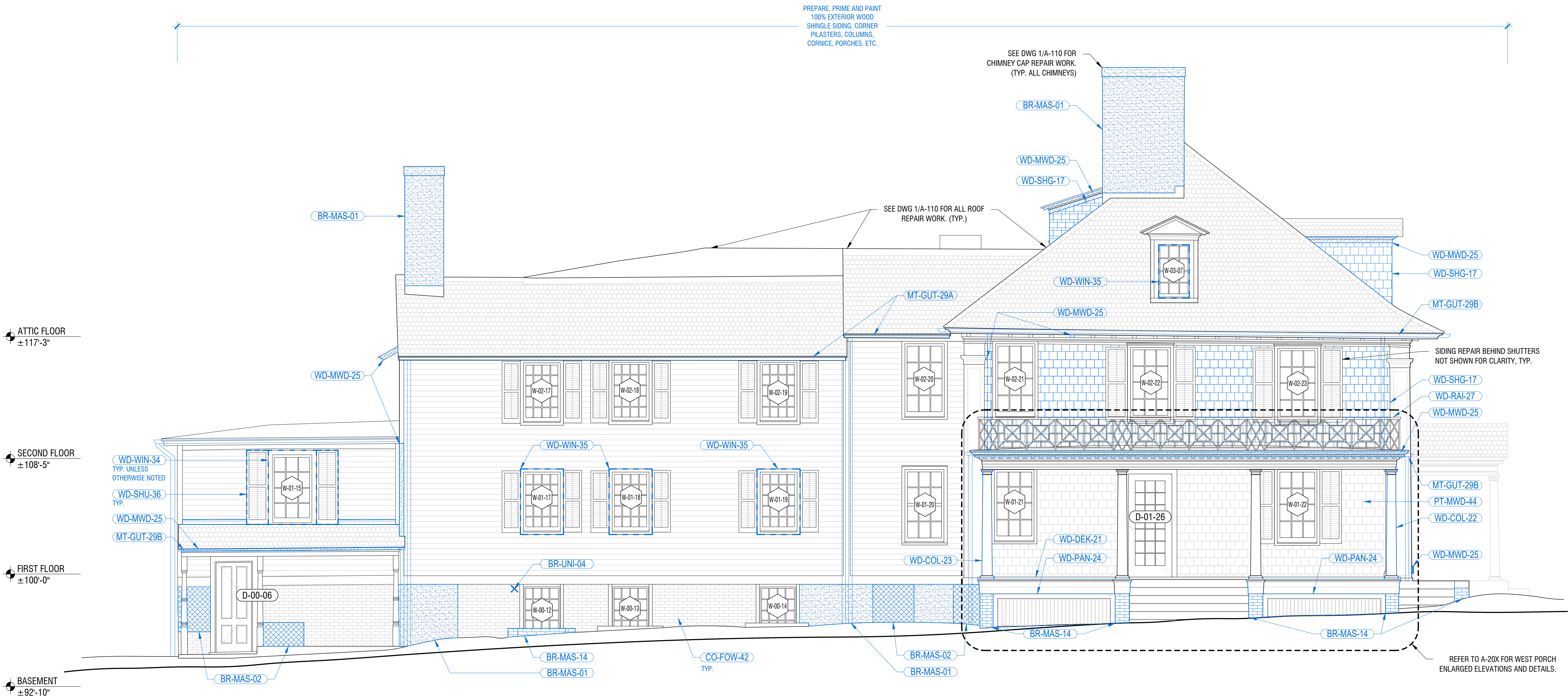
PLOTTED: 1/31/2024 11:25 AM BY: ---- FILE NAME: I:\01_projects\01_architectural_preservation_studio\2023\23-037_small_interior_and_exterior_drawings\02_current\23-037_e-200_elevations.dwg

| REPAIR/RESTORATION LEGEND | | | |
|---------------------------|---------|-----------------------------------|---------|
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
| BR-MAS-01 | | BRICK MASONRY REPOINTING | X/A-50X |
| BR-MAS-02 | | BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-14 | | BRICK MASS-MASONRY REPLACEMENT | X/A-50X |
| BR-UNI-04 | | INDIVIDUAL BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-07 | | MASONRY CLEANING | |
| BR-WIN-15 | | WINDOW INFILL | X/A-50X |
| WD-SID-16 | | WOOD CLAPBOARD SIDING REPLACEMENT | X/A-50X |
| WD-SID-18 | | WOOD TRIM REPAIR | X/A-50X |

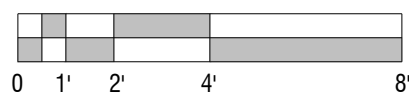
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|-----------|---------|--|---------|
| WD-SHG-17 | | WOOD SHINGLE SIDING REPLACEMENT | X/A-50X |
| WD-RAI-20 | | WOOD RAILING REPLACEMENT | X/A-50X |
| WD-RAI-27 | | WOOD DECORATIVE RAILING INSTALLATION | X/A-50X |
| WD-MWD-25 | | MISCELLANEOUS WOOD REPAIRS | X/A-50X |
| WD-MWD-26 | | MISCELLANEOUS WOOD ELEMENT REPLACEMENT | X/A-50X |
| WD-PAN-24 | | FRAMED WOOD LATTICE PANEL REPLACEMENT | X/A-50X |
| WD-COL-22 | | WOOD COLUMN REPAIR | X/A-50X |
| WD-COL-23 | | WOOD COLUMN REPLACEMENT | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|------------|---------|---|---------|
| WD-DEK-21 | | WOOD DECK REPLACEMENT | X/A-50X |
| WD-FAS-31 | | WOOD FASCIA REPLACEMENT | X/A-50X |
| MT-GUT-29A | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-GUT-29B | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-FLA-30 | | MISC. METAL COPPER FLASHING REPLACEMENT | X/A-50X |
| SE-MISC-32 | | SEALANT REPLACEMENT | X/A-50X |
| WD-DOR-33 | | WOOD DOOR RESTORATION | X/A-50X |
| WD-WIN-34 | | WOOD WINDOW REPAIR | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|--|---------|------------------------------|---------|
| WD-WIN-34A | | WOOD WINDOW SASH REPLACEMENT | X/A-50X |
| WD-WIN-35 | | NEW WOOD WINDOW INSTALLATION | X/A-50X |
| WD-SHU-36 | | WOOD SHUTTER REPLACEMENT | X/A-50X |
| CO-FOW-42 | | FOUNDATION WALL COATING | |
| PT-MMT-43 | | MISC. METAL PAINTING | |
| PT-MWD-44 | | MISC. WOOD PAINTING | |
| NOTES 1. REFER TO REPAIR/RESTORATION LEGEND ON SHEET T-002. 2. REFER TO FLOOR AND ROOF PLANS FOR ADDITIONAL INFORMATION. | | | |

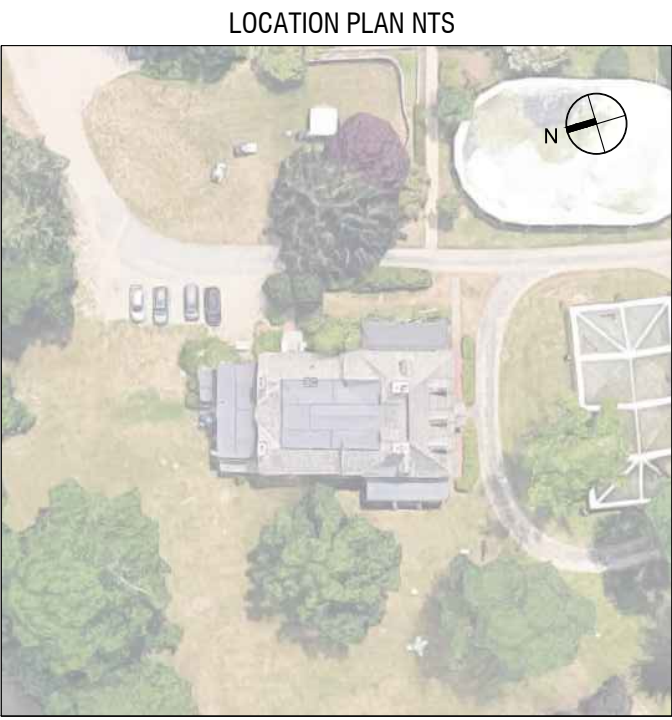


1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



| ARCHITECT | |
|---|---|
| | ARCHITECTURAL PRESERVATION STUDIO, DPC Architecture, Historic Preservation, & Building Envelope Consulting 594 Broadway, Suite 919, New York, NY 10012 212.477.7976 / info@preservationstudio.com |
| CONSULTANTS | |
| OLA ENGINEERS, PC (MEP/FP CONSULTANT) 50 BROADWAY HAWTHORNE, NY 10532 | A DEGREE OF FREEDOM, PLLC (STRUCTURAL ENGINEER) 34 WEST 15TH STREET, 7TH FLOOR NEW YORK, NY 10011 |
| JABLONSKI BUILDING CONSERVATION, INC. (MORTAR/PAINT ANALYSIS) 40 WEST 27TH STREET, 12TH FLOOR NEW YORK, NY 10001 | METROPOLIS GROUP, INC. (CODE CONSULTANT) 22 CORTLAND STREET, #10 NEW YORK, NY 10007 |
| JLC ENVIRONMENTAL CONSULTANTS, INC. (ENVIRONMENTAL TESTING) 243 WEST 30TH STREET, SUITE 701 NEW YORK, NY 10001 | BOA LIGHT DESIGN (LIGHTING CONSULTANT) FR: 78 RUE DE FONTENAY 84200 VINCENNES USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003 |
| F. MICHAEL HEMMER, L.S., P.C. (LAND SURVEYOR) 3330 NOYAC ROAD, PO BOX 1328 SAG HARBOR, NY 11963 | |
| CLIENT / OWNER | |

SYLVESTER MANOR
 MAILING ADDRESS:
 P.O. BOX 229
 SHELTER ISLAND, NY 11964



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

| DOB JOB # | |
|-------------|--|
| DOB STICKER | |

PROJECT
 SYLVESTER MANOR HOUSE
 EXTERIOR REHABILITATION
 INTERIOR REUSE
 80 NORTH FERRY ROAD
 SHELTER ISLAND, NY 11964

DRAWING NAME
 WEST ELEVATION

SEAL & SIGNATURE

 DATE: 06.01.2023
 AFS PROJECT No: 23-037
 SCALE: AS NOTED
 DRAWING BY: MT, DT
 CHECKED BY: P.J. DE SG
 DWG No: **A-202.00**
 DWG COUNT: # OF ##
 REGISTRATION EXPIRATION DATE: 11/30/2028
 COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

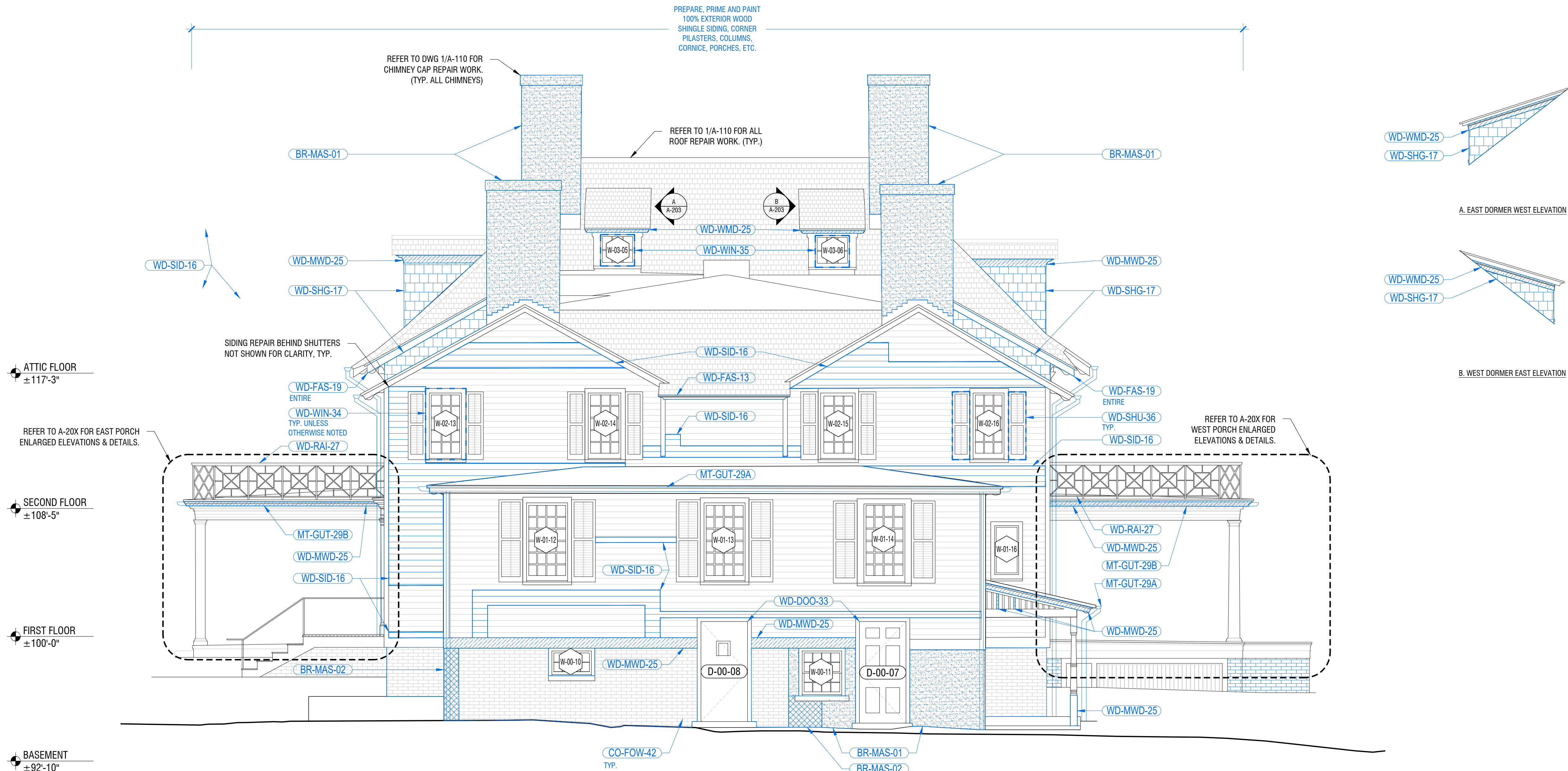
PLOTTED: 1/31/2024 11:25 AM BY: ---- FILE NAME: i:\01_projects\01_architectural\preservation_studio\2023\23-037_small_interior_and_exterior\drawings\02_current\23-037_e-200_elevations.dwg

| REPAIR/RESTORATION LEGEND | | | |
|---------------------------|---------|-----------------------------------|---------|
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
| BR-MAS-01 | | BRICK MASONRY REPOINTING | X/A-50X |
| BR-MAS-02 | | BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-14 | | BRICK MASS-MASONRY REPLACEMENT | X/A-50X |
| BR-UNI-04 | | INDIVIDUAL BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-07 | | MASONRY CLEANING | |
| BR-WIN-15 | | WINDOW INFILL | X/A-50X |
| WD-SID-16 | | WOOD CLAPBOARD SIDING REPLACEMENT | X/A-50X |
| WD-SID-18 | | WOOD TRIM REPAIR | X/A-50X |

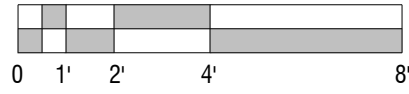
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|-----------|---------|--|---------|
| WD-SHG-17 | | WOOD SHINGLE SIDING REPLACEMENT | X/A-50X |
| WD-RAI-20 | | WOOD RAILING REPLACEMENT | X/A-50X |
| WD-RAI-27 | | WOOD DECORATIVE RAILING INSTALLATION | X/A-50X |
| WD-MWD-25 | | MISCELLANEOUS WOOD REPAIRS | X/A-50X |
| WD-MWD-26 | | MISCELLANEOUS WOOD ELEMENT REPLACEMENT | X/A-50X |
| WD-PAN-24 | | FRAMED WOOD LATTICE PANEL REPLACEMENT | X/A-50X |
| WD-COL-22 | | WOOD COLUMN REPAIR | X/A-50X |
| WD-COL-23 | | WOOD COLUMN REPLACEMENT | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|------------|---------|---|---------|
| WD-DEK-21 | | WOOD DECK REPLACEMENT | X/A-50X |
| WD-FAS-31 | | WOOD FASCIA REPLACEMENT | X/A-50X |
| MT-GUT-29A | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-GUT-29B | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-FLA-30 | | MISC. METAL COPPER FLASHING REPLACEMENT | X/A-50X |
| SE-MISC-32 | | SEALANT REPLACEMENT | X/A-50X |
| WD-DOO-33 | | WOOD DOOR RESTORATION | X/A-50X |
| WD-WIN-34 | | WOOD WINDOW REPAIR | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|--|---------|------------------------------|---------|
| WD-WIN-34A | | WOOD WINDOW SASH REPLACEMENT | X/A-50X |
| WD-WIN-35 | | NEW WOOD WINDOW INSTALLATION | X/A-50X |
| WD-SHU-36 | | WOOD SHUTTER REPLACEMENT | X/A-50X |
| CO-FOW-42 | | FOUNDATION WALL COATING | |
| PT-MMT-43 | | MISC. METAL PAINTING | |
| PT-MWD-44 | | MISC. WOOD PAINTING | |
| NOTES | | | |
| 1. REFER TO REPAIR/RESTORATION LEGEND ON SHEET T-002. | | | |
| 2. REFER TO FLOOR AND ROOF PLANS FOR ADDITIONAL INFORMATION. | | | |



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECT

**ARCHITECTURAL
PRESERVATION
STUDIO, DPC**
Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)
50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)
40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)
22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)
243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)
FR: 78 RUE DE FONTENAY 94000 VINCENNES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)
3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER

**SYLVESTER
MANOR**
MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS

| | | |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |
| NO. | SUBMISSIONS/ REVISIONS | DATE |

DOB JOB #

DOB STICKER

PROJECT

SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

NORTH ELEVATION

SEAL & SIGNATURE

DATE: 06.01.2023
APS PROJECT No: 23-037
SCALE: AS NOTED
DRAWING BY: MT, DT
CHECKED BY: P.J. DE, SG
DRAWING No: A-203.00
DRAWING COUNT: # OF ##

REGISTRATION EXPIRATION DATE: 11/30/2026
COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15

T
S
R
Q
P
O
N
M
L
K
J
I
H
G
F
E
D
C
B
A

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15

T
S
R
Q
P
O
N
M
L
K
J
I
H
G
F
E
D
C
B
A

REPAIR/RESTORATION LEGEND

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|-----------|---------|-----------------------------------|---------|
| BR-MAS-01 | | BRICK MASONRY REPOINTING | X/A-50X |
| BR-MAS-02 | | BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-14 | | BRICK MASS-MASONRY REPLACEMENT | X/A-50X |
| BR-UNI-04 | | INDIVIDUAL BRICK MASONRY REPAIR | X/A-50X |
| BR-MAS-07 | | MASONRY CLEANING | |
| BR-WIN-15 | | WINDOW INFILL | X/A-50X |
| WD-SID-16 | | WOOD CLAPBOARD SIDING REPLACEMENT | X/A-50X |
| WD-SID-18 | | WOOD TRIM REPAIR | X/A-50X |

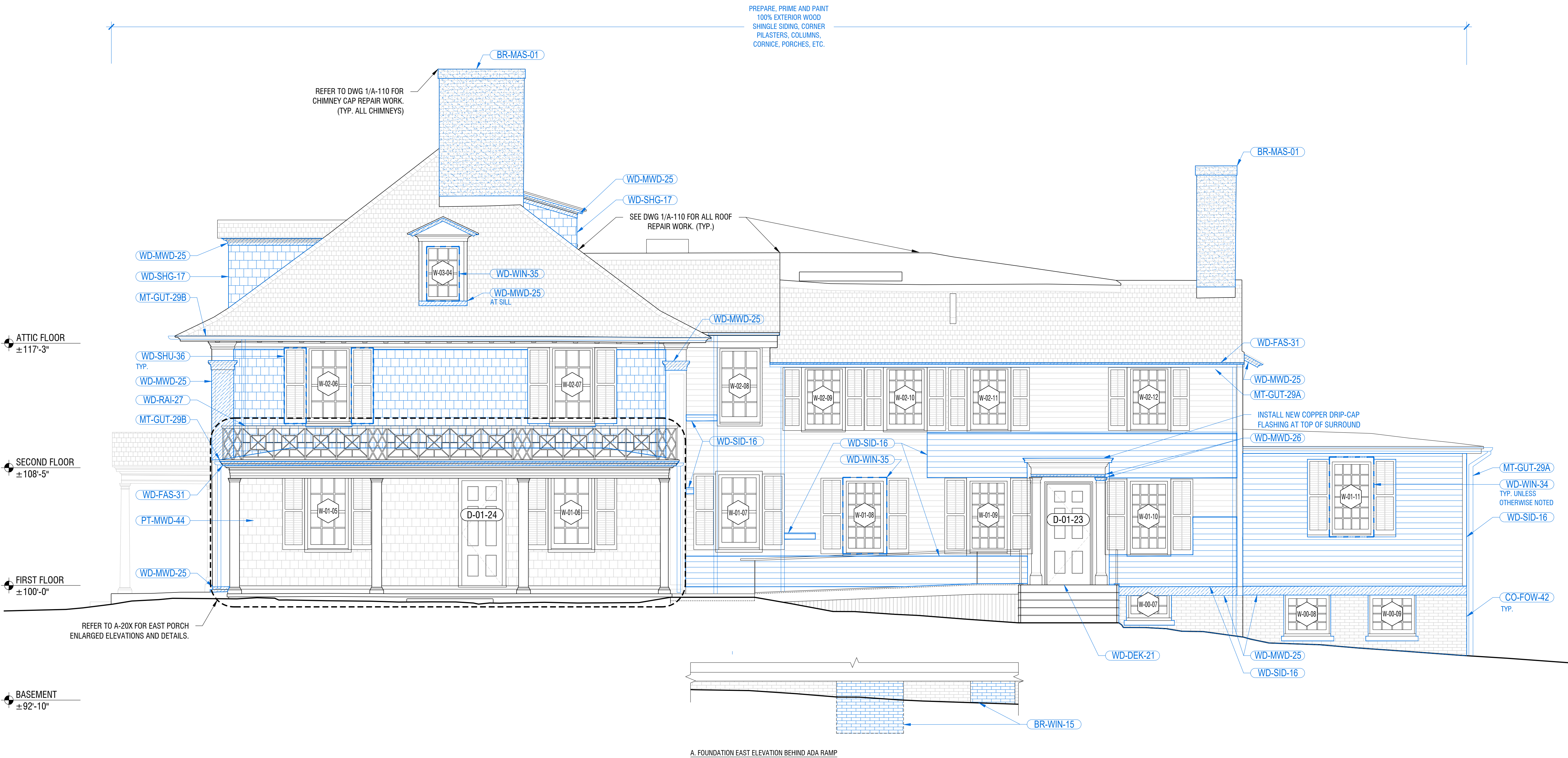
| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|-----------|---------|--|---------|
| WD-SHG-17 | | WOOD SHINGLE SIDING REPLACEMENT | X/A-50X |
| WD-RAI-20 | | WOOD RAILING REPLACEMENT | X/A-50X |
| WD-RAI-27 | | WOOD DECORATIVE RAILING INSTALLATION | X/A-50X |
| WD-MWD-25 | | MISCELLANEOUS WOOD REPAIRS | X/A-50X |
| WD-MWD-26 | | MISCELLANEOUS WOOD ELEMENT REPLACEMENT | X/A-50X |
| WD-PAN-24 | | FRAMED WOOD LATTICE PANEL REPLACEMENT | X/A-50X |
| WD-COL-22 | | WOOD COLUMN REPAIR | X/A-50X |
| WD-COL-23 | | WOOD COLUMN REPLACEMENT | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|------------|---------|---|---------|
| WD-DEK-21 | | WOOD DECK REPLACEMENT | X/A-50X |
| WD-FAS-31 | | WOOD FASCIA REPLACEMENT | X/A-50X |
| MT-GUT-29A | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-GUT-29B | | GUTTER & DOWNSPOUT INSTALLATION | X/A-50X |
| MT-FLA-30 | | MISC. METAL COPPER FLASHING REPLACEMENT | X/A-50X |
| SE-MISC-32 | | SEALANT REPLACEMENT | X/A-50X |
| WD-DOO-33 | | WOOD DOOR RESTORATION | X/A-50X |
| WD-WIN-34 | | WOOD WINDOW REPAIR | X/A-50X |

| KEY NOTE | GRAPHIC | DESCRIPTION | DETAIL |
|------------|---------|------------------------------|---------|
| WD-WIN-34A | | WOOD WINDOW SASH REPLACEMENT | X/A-50X |
| WD-WIN-35 | | NEW WOOD WINDOW INSTALLATION | X/A-50X |
| WD-SHU-36 | | WOOD SHUTTER REPLACEMENT | X/A-50X |
| CO-FOW-42 | | FOUNDATION WALL COATING | |
| PT-MMT-43 | | MISC. METAL PAINTING | |
| PT-MWD-44 | | MISC. WOOD PAINTING | |

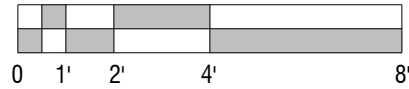
NOTES

- REFER TO REPAIR/RESTORATION LEGEND ON SHEET T-002.
- REFER TO FLOOR AND ROOF PLANS FOR ADDITIONAL INFORMATION.



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"



ARCHITECT

ARCHITECTURAL
PRESERVATION
STUDIO, DPC

Architecture, Historic Preservation, & Building Envelope Consulting
594 Broadway, Suite 919, New York, NY 10012
212.477.7976 / info@preservationstudio.com

CONSULTANTS

OLA ENGINEERS, PC
(MEP/FP CONSULTANT)

50 BROADWAY
HAWTHORNE, NY 10532

A DEGREE OF FREEDOM, PLLC
(STRUCTURAL ENGINEER)
34 WEST 15TH STREET, 7TH FLOOR
NEW YORK, NY 10011

JABLONSKI BUILDING CONSERVATION, INC.
(MORTAR/PAINT ANALYSIS)

40 WEST 27TH STREET, 12TH FLOOR
NEW YORK, NY 10001

METROPOLIS GROUP, INC.
(CODE CONSULTANT)

22 CORTLAND STREET, #10
NEW YORK, NY 10007

JLC ENVIRONMENTAL CONSULTANTS, INC.
(ENVIRONMENTAL TESTING)

243 WEST 30TH STREET, SUITE 701
NEW YORK, NY 10001

BOA LIGHT DESIGN
(LIGHTING CONSULTANT)

FR: 78 RUE DE FONTENAY 8400 VINCENTES
USA: 417 LAFAYETTE STREET, FLOOR 6 NEW YORK, NY 10003

F. MICHAEL HEMMER, L.S., P.C.
(LAND SURVEYOR)

3330 NOYAC ROAD, PO BOX 1328
SAG HARBOR, NY 11963

CLIENT / OWNER



MAILING ADDRESS:
P.O. BOX 229
SHELTER ISLAND, NY 11964

LOCATION PLAN NTS



| NO. | SUBMISSIONS/ REVISIONS | DATE |
|-----|-----------------------------|------------|
| 5 | DOB FILING | 01.31.2024 |
| 4 | PRE-DOB SUBMISSION TO SM | 01.11.2024 |
| 3 | NYS CA SUBMISSION | 01.09.2024 |
| 2 | SD COST ESTIMATING - ELLANA | 12.12.2023 |
| 1 | SD SUBMISSION | 10.06.2023 |

DOB JOB #

DOB STICKER

PROJECT
SYLVESTER MANOR HOUSE
EXTERIOR REHABILITATION
INTERIOR REUSE
80 NORTH FERRY ROAD
SHELTER ISLAND, NY 11964

DRAWING NAME

EAST ELEVATION



DATE: 06.01.2023

APS PROJECT No: 23-037

SCALE: AS NOTED

DRAWING BY: MT, DT

CHECKED BY: P.J. DE SG

DWG No: A-204.00

OF

REGISTRATION EXPIRATION DATE: 11/30/2026

COPYRIGHT © 2024-ARCHITECTURAL PRESERVATION STUDIO, DPC-ALL RIGHTS RESERVED

LEGEND

DOCUMENT
B# BUILDING #
BT# TRUCK BODY #
SIGN
STONE WALL
FENCE
DRAINAGE INLET
MONITORING WELL
HYDRANT
WATER VALVE
GAS VALVE
GAS TANK
ELECTRIC SERVICE
UTILITY POLE
GUY WIRE
MAIN HOLE
WETLANDS FLAG
WETLANDS FLAG

Deed North
TOTAL PERIMETER AREA
LOTS 5.5, 5.7, 5.8 & 5.10
TO MEAN HIGH WATER
9,684,827± SQ.FT.
222.33± ACRES

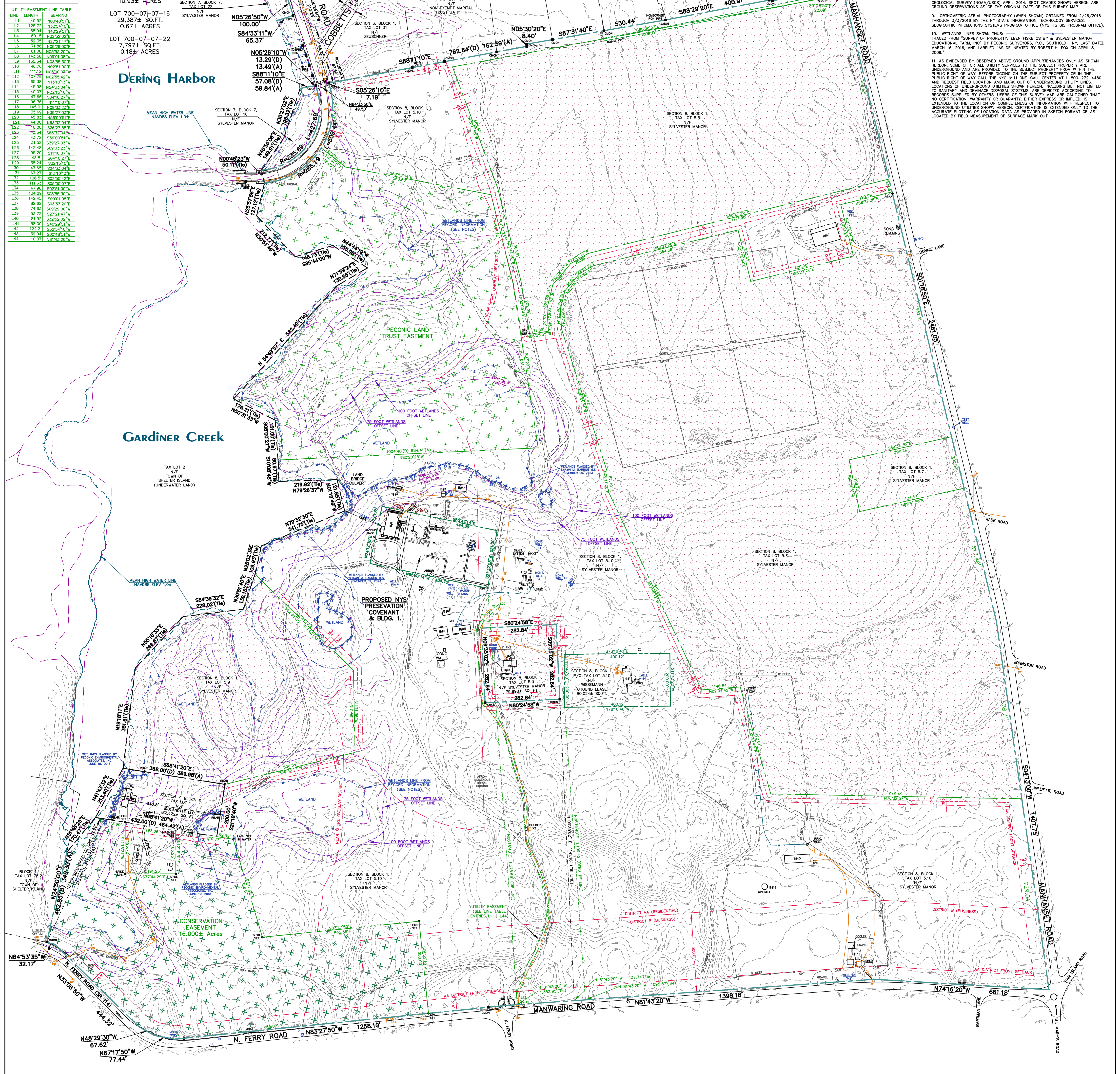
LOT 700-08-01-5.9
476,077± SQ. FT.
10.93± ACRES

LOT 700-07-07-16
29,387± SQ. FT.
0.67± ACRES

LOT 700-07-07-22
7,797± SQ. FT.
0.18± ACRES

UTILITY EASEMENT LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 46.55 | N02°45'15"E |
| L2 | 125.72 | N32°54'10"E |
| L3 | 50.04 | N62°29'53"E |
| L4 | 80.15 | N32°52'02"E |
| L5 | 52.30 | N27°21'47"E |
| L6 | 71.86 | N02°29'53"E |
| L7 | 81.00 | N03°53'20"W |
| L8 | 143.50 | N09°13'08"W |
| L9 | 135.34 | N08°55'30"E |
| L10 | 46.76 | N02°45'15"E |
| L11 | 111.52 | N02°40'05"W |
| L12 | 107.79 | N02°55'42"W |
| L13 | 65.30 | N31°03'30"W |
| L14 | 45.98 | N24°33'04"W |
| L15 | 40.07 | N32°15'10"W |
| L16 | 47.66 | N04°10'22"W |
| L17 | 96.36 | N11°10'07"E |
| L18 | 145.00 | N03°22'25"E |
| L19 | 35.89 | N32°27'03"E |
| L20 | 45.83 | N06°02'51"E |
| L21 | 142.46 | N02°59'23"W |
| L22 | 85.20 | N11°07'07"W |
| L23 | 174.61 | S02°26'20"W |
| L24 | 38.24 | S32°15'10"E |
| L25 | 47.65 | S24°33'04"E |
| L26 | 174.61 | S02°26'20"E |
| L27 | 108.51 | S02°25'42"E |
| L28 | 171.61 | S03°02'15"E |
| L29 | 47.98 | S02°51'00"W |
| L30 | 124.29 | S08°59'03"W |
| L31 | 142.46 | S08°59'03"W |
| L32 | 82.62 | S03°53'20"E |
| L33 | 174.61 | S02°26'20"E |
| L34 | 53.72 | S42°21'47"W |
| L35 | 81.92 | S32°52'02"W |
| L36 | 86.80 | S40°29'51"W |
| L37 | 122.21 | S32°54'10"W |
| L38 | 136.04 | S02°46'51"W |
| L39 | 10.07 | N81°43'20"W |



EXISTING BUILDING LEGEND

| REF# | NAME | B#1 | B#2 | B#3 | B#4 | B#5 | B#6 | B#7 | B#8 | B#9 |
|------|--|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| B#1 | MANOR HOUSE | | | | | | | | | |
| B#2 | OLD PUMP HOUSE | | | | | | | | | |
| B#3 | MOWER BARN | | | | | | | | | |
| B#4 | PRIVY | | | | | | | | | |
| B#5 | OLD TOOL SHED | | | | | | | | | |
| B#6 | PEACOCK HOUSE | | | | | | | | | |
| B#7 | EVENT BARN | | | | | | | | | |
| B#8 | GLASS BARN | | | | | | | | | |
| B#9 | LONG BARN | | | | | | | | | |
| B#10 | PRIVATE RESIDENCE OWNED BY OTHERS | | | | | | | | | |
| B#11 | GREENHOUSE | | | | | | | | | |
| B#12 | FARMSTEAD | | | | | | | | | |
| B#13 | PRIVACY RESIDENCE OWNED BY OTHERS | | | | | | | | | |
| B#14 | QUAKER MEETING PAVILION | | | | | | | | | |
| B#15 | POLE BARN | | | | | | | | | |
| B#16 | WOMEN | | | | | | | | | |
| B#17 | TEMPORARY PUBLIC RESTROOMS, CREW BATHROOMS & LAUNDRY | | | | | | | | | |
| B#18 | TEMPORARY CREW KITCHEN | | | | | | | | | |

WELL LEGEND

| WELL# | NAME |
|--------|--------------------|
| WELL#1 | DOMESTIC AT B#1 |
| WELL#2 | IRRIGATION AT B#3 |
| WELL#3 | IRRIGATION AT B#10 |
| WELL#4 | DOMESTIC AT B#10 |
| WELL#5 | IRRIGATION AT B#10 |
| WELL#6 | DOMESTIC AT B#17 |
| WELL#7 | IRRIGATION AT B#17 |

TABLE OF AREAS

| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|--|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.6 <td>20,073</td> <td>19,971</td> <td>1,496,395</td> | 20,073 | 19,971 | 1,496,395 |
| TAX LOT 5.7 | 36,898 | 37,305 | 2,388,151 |
| TAX LOT 5.8 | 0 | 0 | 0 |
| TAX LOT 5.9 | 119,019 | 119,019 | 1,476,077 |
| TAX LOT 5.10 | 0 | 0 | 0 |
| TAX LOT 5.11 | 190,430 | 190,430 | 1,476,077 |
| TAX LOT 5.12 | 0 | 0 | 0 |
| TAX LOT 5.13 | 622,626 | 622,626 | 2,490,305 |
| TAX LOT 5.14 | 0 | 0 | 0 |
| TAX LOT 5.15 | 996,202 | 996,202 | 2,490,305 |

TABLE OF AREAS

| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|--------------|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.16 | 0 | 0 | 0 |
| TAX LOT 5.17 | 20,062 | 20,062 | 1,476,077 |
| TAX LOT 5.18 | 0 | 0 | 0 |
| TAX LOT 5.19 | 32,100 | 32,100 | 1,476,077 |
| TAX LOT 5.20 | 0 | 0 | 0 |
| TAX LOT 5.21 | 285,924 | 285,924 | 1,143,694 |
| TAX LOT 5.22 | 0 | 0 | 0 |
| TAX LOT 5.23 | 457,478 | 457,478 | 1,143,694 |

TABLE OF AREAS

| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|--------------|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.24 | 0 | 0 | 0 |
| TAX LOT 5.25 | 1,949 | 1,949 | 7,797 |
| TAX LOT 5.26 | 0 | 0 | 0 |
| TAX LOT 5.27 | 3,119 | 3,119 | 7,797 |

TABLE OF AREAS

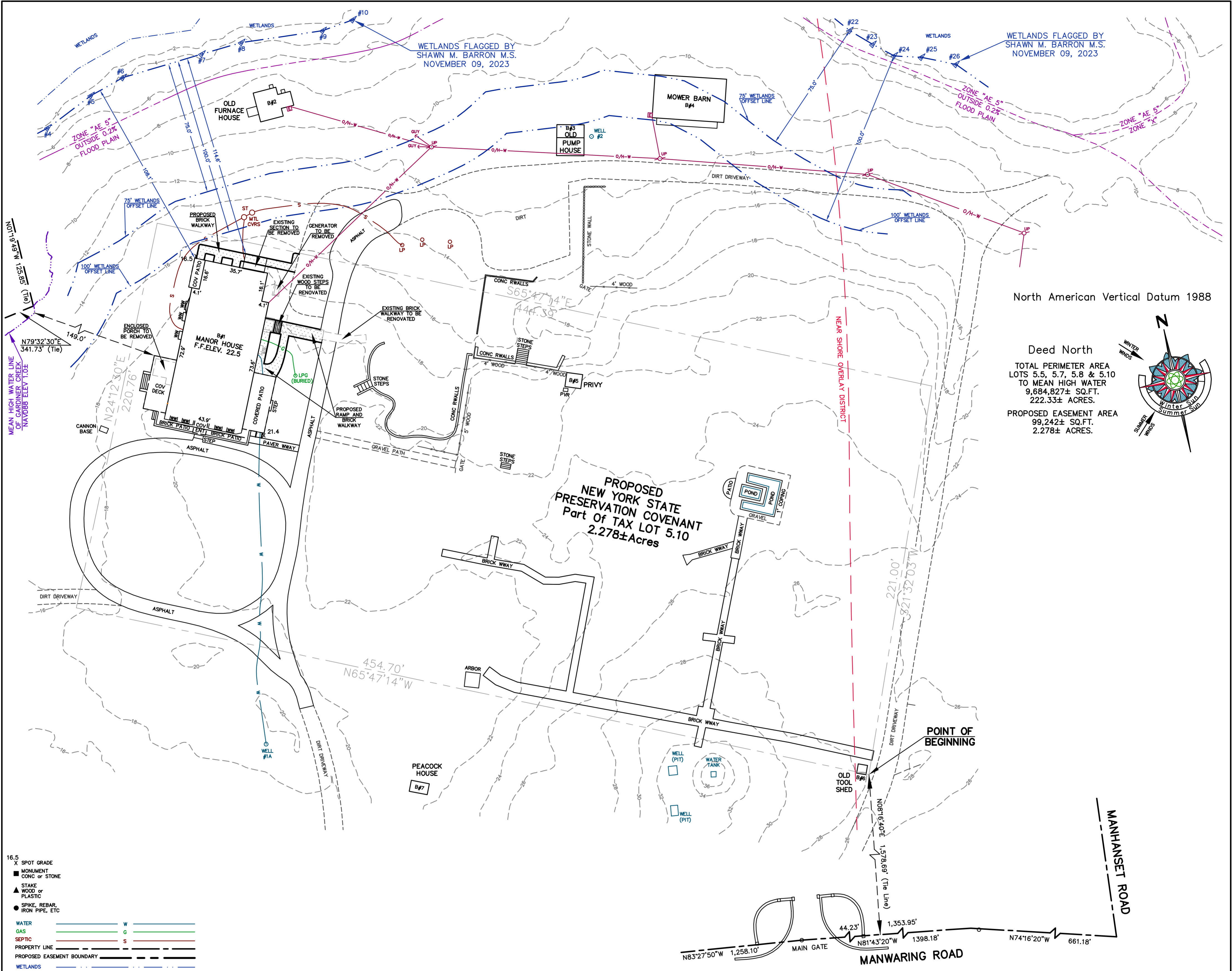
| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|---------------|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.28 | 0 | 0 | 0 |
| TAX LOT 5.29 | 0 | 0 | 0 |
| TAX LOT 5.30 | 0 | 0 | 0 |
| TAX LOT 5.31 | 0 | 0 | 0 |
| TAX LOT 5.32 | 0 | 0 | 0 |
| TAX LOT 5.33 | 0 | 0 | 0 |
| TAX LOT 5.34 | 0 | 0 | 0 |
| TAX LOT 5.35 | 0 | 0 | 0 |
| TAX LOT 5.36 | 0 | 0 | 0 |
| TAX LOT 5.37 | 0 | 0 | 0 |
| TAX LOT 5.38 | 0 | 0 | 0 |
| TAX LOT 5.39 | 0 | 0 | 0 |
| TAX LOT 5.40 | 0 | 0 | 0 |
| TAX LOT 5.41 | 0 | 0 | 0 |
| TAX LOT 5.42 | 0 | 0 | 0 |
| TAX LOT 5.43 | 0 | 0 | 0 |
| TAX LOT 5.44 | 0 | 0 | 0 |
| TAX LOT 5.45 | 0 | 0 | 0 |
| TAX LOT 5.46 | 0 | 0 | 0 |
| TAX LOT 5.47 | 0 | 0 | 0 |
| TAX LOT 5.48 | 0 | 0 | 0 |
| TAX LOT 5.49 | 0 | 0 | 0 |
| TAX LOT 5.50 | 0 | 0 | 0 |
| TAX LOT 5.51 | 0 | 0 | 0 |
| TAX LOT 5.52 | 0 | 0 | 0 |
| TAX LOT 5.53 | 0 | 0 | 0 |
| TAX LOT 5.54 | 0 | 0 | 0 |
| TAX LOT 5.55 | 0 | 0 | 0 |
| TAX LOT 5.56 | 0 | 0 | 0 |
| TAX LOT 5.57 | 0 | 0 | 0 |
| TAX LOT 5.58 | 0 | 0 | 0 |
| TAX LOT 5.59 | 0 | 0 | 0 |
| TAX LOT 5.60 | 0 | 0 | 0 |
| TAX LOT 5.61 | 0 | 0 | 0 |
| TAX LOT 5.62 | 0 | 0 | 0 |
| TAX LOT 5.63 | 0 | 0 | 0 |
| TAX LOT 5.64 | 0 | 0 | 0 |
| TAX LOT 5.65 | 0 | 0 | 0 |
| TAX LOT 5.66 | 0 | 0 | 0 |
| TAX LOT 5.67 | 0 | 0 | 0 |
| TAX LOT 5.68 | 0 | 0 | 0 |
| TAX LOT 5.69 | 0 | 0 | 0 |
| TAX LOT 5.70 | 0 | 0 | 0 |
| TAX LOT 5.71 | 0 | 0 | 0 |
| TAX LOT 5.72 | 0 | 0 | 0 |
| TAX LOT 5.73 | 0 | 0 | 0 |
| TAX LOT 5.74 | 0 | 0 | 0 |
| TAX LOT 5.75 | 0 | 0 | 0 |
| TAX LOT 5.76 | 0 | 0 | 0 |
| TAX LOT 5.77 | 0 | 0 | 0 |
| TAX LOT 5.78 | 0 | 0 | 0 |
| TAX LOT 5.79 | 0 | 0 | 0 |
| TAX LOT 5.80 | 0 | 0 | 0 |
| TAX LOT 5.81 | 0 | 0 | 0 |
| TAX LOT 5.82 | 0 | 0 | 0 |
| TAX LOT 5.83 | 0 | 0 | 0 |
| TAX LOT 5.84 | 0 | 0 | 0 |
| TAX LOT 5.85 | 0 | 0 | 0 |
| TAX LOT 5.86 | 0 | 0 | 0 |
| TAX LOT 5.87 | 0 | 0 | 0 |
| TAX LOT 5.88 | 0 | 0 | 0 |
| TAX LOT 5.89 | 0 | 0 | 0 |
| TAX LOT 5.90 | 0 | 0 | 0 |
| TAX LOT 5.91 | 0 | 0 | 0 |
| TAX LOT 5.92 | 0 | 0 | 0 |
| TAX LOT 5.93 | 0 | 0 | 0 |
| TAX LOT 5.94 | 0 | 0 | 0 |
| TAX LOT 5.95 | 0 | 0 | 0 |
| TAX LOT 5.96 | 0 | 0 | 0 |
| TAX LOT 5.97 | 0 | 0 | 0 |
| TAX LOT 5.98 | 0 | 0 | 0 |
| TAX LOT 5.99 | 0 | 0 | 0 |
| TAX LOT 5.100 | 0 | 0 | 0 |

TABLE OF AREAS

| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|---------------|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.101 | 0 | 0 | 0 |
| TAX LOT 5.102 | 0 | 0 | 0 |
| TAX LOT 5.103 | 0 | 0 | 0 |
| TAX LOT 5.104 | 0 | 0 | 0 |
| TAX LOT 5.105 | 0 | 0 | 0 |
| TAX LOT 5.106 | 0 | 0 | 0 |
| TAX LOT 5.107 | 0 | 0 | 0 |
| TAX LOT 5.108 | 0 | 0 | 0 |
| TAX LOT 5.109 | 0 | 0 | 0 |
| TAX LOT 5.110 | 0 | 0 | 0 |
| TAX LOT 5.111 | 0 | 0 | 0 |
| TAX LOT 5.112 | 0 | 0 | 0 |
| TAX LOT 5.113 | 0 | 0 | 0 |
| TAX LOT 5.114 | 0 | 0 | 0 |
| TAX LOT 5.115 | 0 | 0 | 0 |
| TAX LOT 5.116 | 0 | 0 | 0 |
| TAX LOT 5.117 | 0 | 0 | 0 |
| TAX LOT 5.118 | 0 | 0 | 0 |
| TAX LOT 5.119 | 0 | 0 | 0 |
| TAX LOT 5.120 | 0 | 0 | 0 |
| TAX LOT 5.121 | 0 | 0 | 0 |
| TAX LOT 5.122 | 0 | 0 | 0 |
| TAX LOT 5.123 | 0 | 0 | 0 |
| TAX LOT 5.124 | 0 | 0 | 0 |
| TAX LOT 5.125 | 0 | 0 | 0 |
| TAX LOT 5.126 | 0 | 0 | 0 |
| TAX LOT 5.127 | 0 | 0 | 0 |
| TAX LOT 5.128 | 0 | 0 | 0 |
| TAX LOT 5.129 | 0 | 0 | 0 |
| TAX LOT 5.130 | 0 | 0 | 0 |
| TAX LOT 5.131 | 0 | 0 | 0 |
| TAX LOT 5.132 | 0 | 0 | 0 |
| TAX LOT 5.133 | 0 | 0 | 0 |
| TAX LOT 5.134 | 0 | 0 | 0 |
| TAX LOT 5.135 | 0 | 0 | 0 |
| TAX LOT 5.136 | 0 | 0 | 0 |
| TAX LOT 5.137 | 0 | 0 | 0 |
| TAX LOT 5.138 | 0 | 0 | 0 |
| TAX LOT 5.139 | 0 | 0 | 0 |
| TAX LOT 5.140 | 0 | 0 | 0 |
| TAX LOT 5.141 | 0 | 0 | 0 |
| TAX LOT 5.142 | 0 | 0 | 0 |
| TAX LOT 5.143 | 0 | 0 | 0 |
| TAX LOT 5.144 | 0 | 0 | 0 |
| TAX LOT 5.145 | 0 | 0 | 0 |
| TAX LOT 5.146 | 0 | 0 | 0 |
| TAX LOT 5.147 | 0 | 0 | 0 |
| TAX LOT 5.148 | 0 | 0 | 0 |
| TAX LOT 5.149 | 0 | 0 | 0 |
| TAX LOT 5.150 | 0 | 0 | 0 |
| TAX LOT 5.151 | 0 | 0 | 0 |
| TAX LOT 5.152 | 0 | 0 | 0 |
| TAX LOT 5.153 | 0 | 0 | 0 |
| TAX LOT 5.154 | 0 | 0 | 0 |
| TAX LOT 5.155 | 0 | 0 | 0 |
| TAX LOT 5.156 | 0 | 0 | 0 |
| TAX LOT 5.157 | 0 | 0 | 0 |
| TAX LOT 5.158 | 0 | 0 | 0 |
| TAX LOT 5.159 | 0 | 0 | 0 |
| TAX LOT 5.160 | 0 | 0 | 0 |
| TAX LOT 5.161 | 0 | 0 | 0 |
| TAX LOT 5.162 | 0 | 0 | 0 |
| TAX LOT 5.163 | 0 | 0 | 0 |
| TAX LOT 5.164 | 0 | 0 | 0 |
| TAX LOT 5.165 | 0 | 0 | 0 |
| TAX LOT 5.166 | 0 | 0 | 0 |
| TAX LOT 5.167 | 0 | 0 | 0 |
| TAX LOT 5.168 | 0 | 0 | 0 |
| TAX LOT 5.169 | 0 | 0 | 0 |
| TAX LOT 5.170 | 0 | 0 | 0 |
| TAX LOT 5.171 | 0 | 0 | 0 |
| TAX LOT 5.172 | 0 | 0 | 0 |
| TAX LOT 5.173 | 0 | 0 | 0 |
| TAX LOT 5.174 | 0 | 0 | 0 |
| TAX LOT 5.175 | 0 | 0 | 0 |
| TAX LOT 5.176 | 0 | 0 | 0 |
| TAX LOT 5.177 | 0 | 0 | 0 |
| TAX LOT 5.178 | 0 | 0 | 0 |
| TAX LOT 5.179 | 0 | 0 | 0 |
| TAX LOT 5.180 | 0 | 0 | 0 |
| TAX LOT 5.181 | 0 | 0 | 0 |
| TAX LOT 5.182 | 0 | 0 | 0 |
| TAX LOT 5.183 | 0 | 0 | 0 |
| TAX LOT 5.184 | 0 | 0 | 0 |
| TAX LOT 5.185 | 0 | 0 | 0 |
| TAX LOT 5.186 | 0 | 0 | 0 |
| TAX LOT 5.187 | 0 | 0 | 0 |
| TAX LOT 5.188 | 0 | 0 | 0 |
| TAX LOT 5.189 | 0 | 0 | 0 |
| TAX LOT 5.190 | 0 | 0 | 0 |
| TAX LOT 5.191 | 0 | 0 | 0 |
| TAX LOT 5.192 | 0 | 0 | 0 |
| TAX LOT 5.193 | 0 | 0 | 0 |
| TAX LOT 5.194 | 0 | 0 | 0 |
| TAX LOT 5.195 | 0 | 0 | 0 |
| TAX LOT 5.196 | 0 | 0 | 0 |
| TAX LOT 5.197 | 0 | 0 | 0 |
| TAX LOT 5.198 | 0 | 0 | 0 |
| TAX LOT 5.199 | 0 | 0 | 0 |
| TAX LOT 5.200 | 0 | 0 | 0 |

TABLE OF AREAS

| TAX LOT | EXISTING TOTAL BUILDING COVERAGE | PROPOSED TOTAL BUILDING COVERAGE | ALLOWED TOTAL BUILDING COVERAGE |
|-----------------|----------------------------------|----------------------------------|---------------------------------|
| TAX LOT 5.201 | 0 | 0 | 0 |
| TAX LOT 5.202 | 0 | 0 | 0 |
| TAX LOT 5.203 | 0 | 0 | 0 |
| TAX LOT 5.204 | 0 | 0 | 0 |
| TAX LOT 5.205 | 0 | 0 | 0 |
| TAX LOT 5.206 | 0 | 0 | 0 |
| TAX LOT 5.207 | 0 | 0 | 0 |
| TAX LOT 5.208 | 0 | 0 | 0 |
| TAX LOT 5.209 | 0 | 0 | 0 |
| TAX LOT 5.210 | 0 | 0 | 0 |
| TAX LOT 5.211 | 0 | 0 | 0 |
| TAX LOT 5.212 | 0 | 0 | 0 |
| TAX LOT 5.213 | 0 | 0 | 0 |
| TAX LOT 5.214 | 0 | 0 | 0 |
| TAX LOT 5.215 | 0 | 0 | 0 |
| TAX LOT 5.216 | 0 | 0 | 0 |
| TAX LOT 5.217 | 0 | 0 | 0 |
| TAX LOT 5.218 | 0 | 0 | 0 |
| TAX LOT 5.219 | 0 | 0 | 0 |
| TAX LOT 5.220 | 0 | 0 | 0 |
| TAX LOT 5.221 | 0 | 0 | 0 |
| TAX LOT 5.222 | 0 | 0 | 0 |
| TAX LOT 5.223 | 0 | 0 | 0 |
| TAX LOT 5.224 | 0 | 0 | 0 |
| TAX LOT 5.225 | 0 | 0 | 0 |
| TAX LOT 5.226 | 0 | 0 | 0 |
| TAX LOT 5.227 | 0 | 0 | 0 |
| TAX LOT 5.228 | 0 | 0 | 0 |
| TAX LOT 5.229 | 0 | 0 | 0 |
| TAX LOT 5.230 | 0 | 0 | 0 |
| TAX LOT 5.231 | 0 | 0 | 0 |
| TAX LOT 5.232 | 0 | 0 | 0 |
| TAX LOT 5.233 | 0 | 0 | 0 |
| TAX LOT 5.234 | 0 | 0 | 0 |
| TAX LOT 5.235 | 0 | 0 | 0 |
| TAX LOT 5.236 | 0 | 0 | 0 |
| TAX LOT 5.237 | 0 | 0 | 0 |
| TAX LOT 5.238 | 0 | 0 | 0 |
| TAX LOT 5.239 | 0 | 0 | 0 |
| TAX LOT 5.240 | 0 | 0 | 0 |
| TAX LOT 5.241 | 0 | 0 | 0 |
| TAX LOT 5.242 | 0 | 0 | 0 |
| TAX LOT 5.243 | 0 | 0 | 0 |
| TAX LOT 5.244 | 0 | 0 | 0 |
| TAX LOT 5.245 | 0 | 0 | 0 |
| TAX LOT 5.246 | 0 | 0 | 0 |
| TAX LOT 5.247 | 0 | 0 | 0 |
| TAX LOT 5.248 | 0 | 0 | 0 |
| TAX LOT 5.249 | 0 | 0 | 0 |
| TAX LOT 5.250</ | | | |



- NOTES:**
1. SURVEY CONDUCTED WITHOUT BENEFIT OF COMPLETE TITLE REPORT. EASEMENTS OF RECORD FOR WHICH DOCUMENTATION HAS BEEN PROVIDED ARE SHOWN HEREON. OTHER EASEMENTS, IF ANY, ARE NOT SHOWN.
 2. SUBJECT PROPERTY IN ZONE "AA" AND IN THE NEAR SHORE OVERLAY DISTRICT PER TOWN OF SHELTER ISLAND CODE SECTIONS 133-4 AND 133-12. ALL ZONING REGULATIONS AND RESTRICTIONS SHOWN HEREON MUST BE VERIFIED WITH APPROPRIATE AUTHORITIES.
 3. SEPTIC SYSTEMS AND WELL LOCATIONS SHOWN FROM INFORMATION PROVIDED BY OTHERS. CERTIFICATION IS LIMITED TO THE ACCURATE PLOTTING AND DEPICTION OF THE INFORMATION AS SUPPLIED.
 4. WETLANDS LINES SHOWN THUS:
TRACED FROM "SURVEY OF PROPERTY; EBEN FISKE OSTBY & SYLVESTER MANOR EDUCATIONAL FARM, INC" BY PECONIC SURVEYORS, P.C., SOUTHOLD, NY, LAST DATED MARCH 16, 2016, AND LABELED "AS DELINEATED BY ROBERT H. FOX ON APRIL 8, 2009."
 5. AS EVIDENCED BY OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, SOME OF OR ALL UTILITY SERVICES TO THE SUBJECT PROPERTY ARE UNDERGROUND AND ARE PROVIDED TO THE SUBJECT PROPERTY FROM WITHIN THE PUBLIC RIGHT OF WAY. BEFORE DIGGING ON THE SUBJECT PROPERTY OR IN THE PUBLIC RIGHT OF WAY CALL THE NYC & LI ONE-CALL CENTER AT 1-800-272-4480 AND REQUEST FIELD LOCATION AND MARK OUT OF UNDERGROUND UTILITY LINES. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON, INCLUDING BUT NOT LIMITED TO SANITARY AND DRAINAGE DISPOSAL SYSTEMS, ARE DEPICTED ACCORDING TO RECORDS SUPPLIED BY OTHERS. USERS OF THIS SURVEY MAP ARE CAUTIONED THAT NO CERTIFICATION, WARRANTY OR GUARANTY, EITHER EXPRESS OR IMPLIED, IS EXTENDED TO THE LOCATION OR COMPLETENESS OF INFORMATION WITH RESPECT TO UNDERGROUND UTILITIES SHOWN HEREON. CERTIFICATION IS EXTENDED ONLY TO THE ACCURATE PLOTTING OF LOCATION DATA AS PROVIDED IN SKETCH FORMAT OR AS LOCATED BY FIELD MEASUREMENT OF SURFACE MARK OUT.
 6. LOCATION AND PROTECTION OF ALL UNDERGROUND UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

CERTIFICATION & ALTERATION NOTE:

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON(S) FOR WHOM THE SURVEY IS PREPARED, AND ON THEIR BEHALF TO THE TITLE COMPANY, LENDING INSTITUTION AND/OR GOVERNMENTAL AGENCY LISTED HEREON, AND THE SUCCESSORS AND/OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. LOCATIONS OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY EXIST EXCEPT AS SHOWN HEREON, ARE NOT KNOWN AND ARE NOT COVERED BY THIS CERTIFICATION.

COPYRIGHT 2024 F. MICHAEL HEMMER, LS, P.C. ALL RIGHTS RESERVED

CERTIFIED TO:
SYLVESTER MANOR EDUCATIONAL FARM
DBA SYLVESTER MANOR

| | |
|------------------------|--------------------------------|
| Field Work: JLA NFB | Project No: 18-108 |
| Drawn By: FMH/JER | Drawing Name: NYS PRES PROJ |
| Checked By: FMH | Scale: 1" = 30' |
| Reviewed By: — | Date: 15 SEP 2023 |

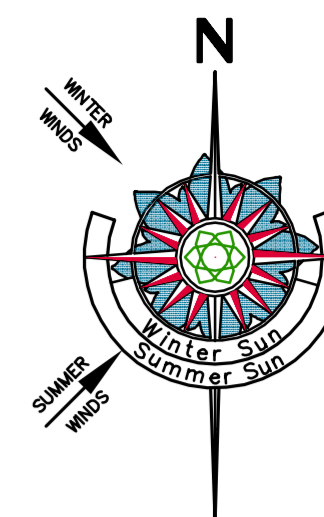
SYLVESTER MANOR

PART OF PROPERTY SITUATE AT
80 NORTH FERRY ROAD
SHELTER ISLAND, NEW YORK
COUNTY OF SUFFOLK, TOWN OF SHELTER ISLAND
DISTRICT 700, SECTION 8, BLOCK 1, P/O LOT 5.10

PREPARED BY
F. MICHAEL HEMMER, LS, P.C.
PROFESSIONAL SURVEYING SERVICES
PO BOX 1328, SAG HARBOR, NEW YORK 11963
(631) 725-7199
INFO@FMHLS.COM

Sheet Title:
NY STATE EASEMENT - PROPOSED SITE PLAN

Sheet
1 OF 1



**80 NORTH FERRY ROAD
SHELTER ISLAND, NEW YORK**

| | |
|----------------------|-----------------------------|
| Field Work: — | Project No: 18-108 |
| Drawn By: FMH ACP | Drawing Name: RADIUS MAP |
| Checked By: FMH | Scale: 1" = 250' |
| Reviewed By: . | Date: 23 FEB 2024 |